

FIELD OBSERVATION REPORT – WEEK OF: 7/17/2023

Permit No.: BLDC-005621-2023

Owner: Island Inn Condominium Association, Inc.

Project Address: 9980 Gulf Blvd., Treasure Island, FL 33706

Contractor: RL James, Inc.

Inspector(s): Justin Chavis, EI and Dan Reed

Type of Assessment: Progress

Project No.: R2107-012

Contact: John Aucamp

Phone: 201-595-9313

Contact: Bob Branscombe

Phone: 239-980-3149

COPY DISTRIBUTION

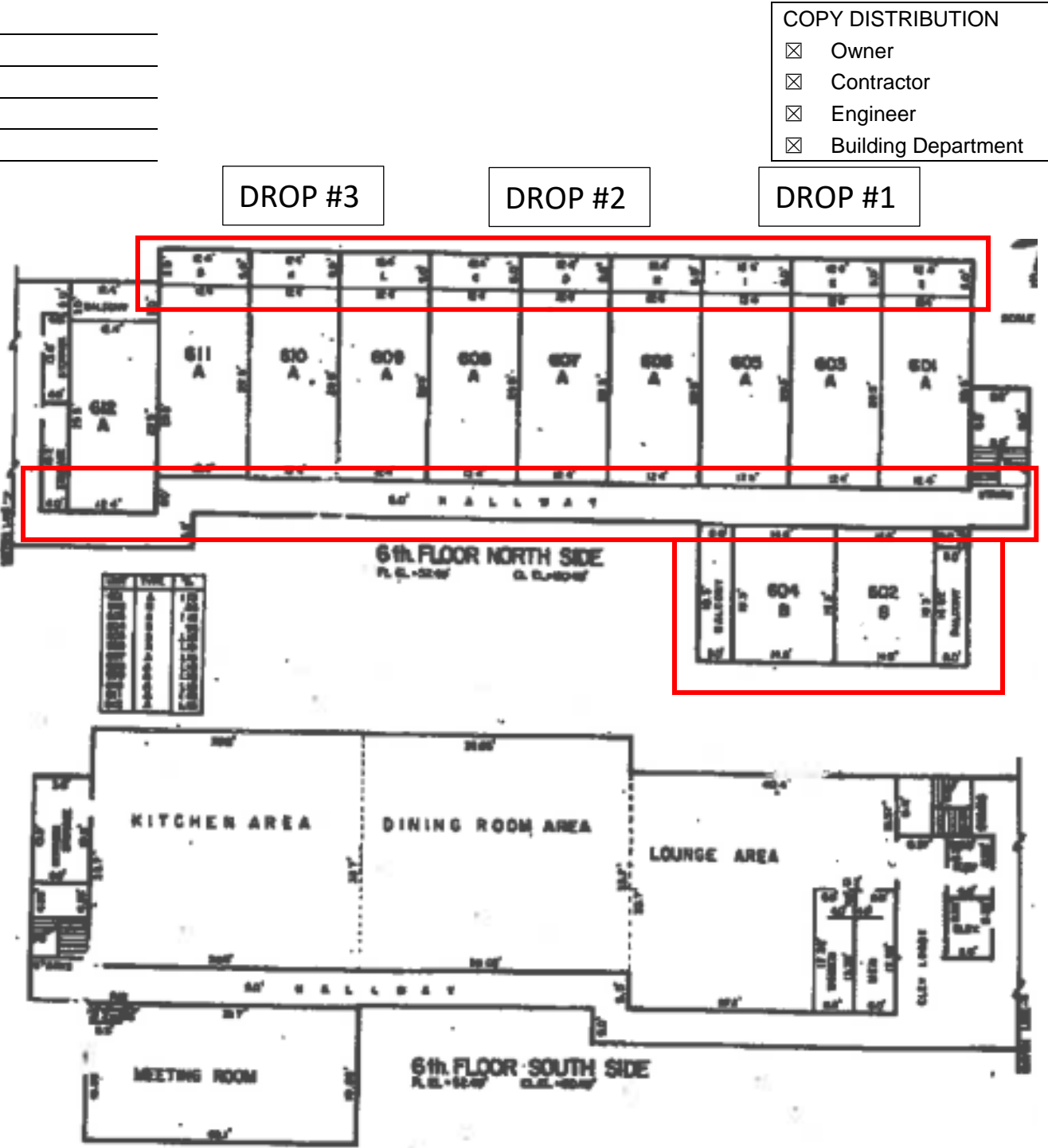
☒ Owner

☒ Contractor

☒ Engineer

☒ Building Department

Date: 7/18/2023	Time: 12:15:00 PM	Weather: Partly Cloudy/Rainy	Approx. Temp.: 82 °F
Date: 7/19/2023	Time: 9:30:00 AM	Weather: Partly Sunny	Approx. Temp.: 85 °F
Date: 7/20/2023	Time: 12:00:00 PM	Weather: Partly Sunny	Approx. Temp.: 91 °F
Date:	Time:	Weather:	Approx. Temp.: °F
Date:	Time:	Weather:	Approx. Temp.: °F
Date:	Time:	Weather:	Approx. Temp.: °F
Date:	Time:	Weather:	Approx. Temp.: °F
Date:	Time:	Weather:	Approx. Temp.: °F



ENGINEERS

PROJECT MANAGERS
FL EB No.8301

INSPECTORS

FIELD OBSERVATION REPORT – WEEK OF: 7/17/2023

Based on the site observations conducted, I certify that to the best of my knowledge and belief, the Work has progressed as stated in general accordance with the structural requirements provided in the project specifications and the Special Inspection Plan. This communication is intended as a record of the conditions observed as of the date of the site visit solely.

Engineer: Bruce Miller, PE, SI Date: 7/28/2023

ENGINEERS

PROJECT MANAGERS
FL EB No.8301

INSPECTORS

FIELD OBSERVATION REPORT – WEEK OF: 7/17/2023

R2107-012 Island Inn, Concrete Repairs:

Legend

/ In Progress

X Complete

Walkways – North Side Floor Levels	Shutter Removal	Pre-Condition Survey	Pressure Clean	Stucco Repairs (sf)	Floor Finish Removal	Slab Repair (cf)	Overhead Rpr (cf)	Column Repair (cf)	Slab Edge (cf)	Crack Repair (lf)	Deck Sloping (sf)	Deck WP	Building Sealants	Window Perimeter Sealants	Paint (Primer)	Paint (Finish)	Punch-Out	Comments
1	X	X	X	X	-	-	X	/	X	/								
2	X	X	X	X	X	/	X	X	X	/								Photos #17, #18
3	X	X	X	X	X	X	X	X	X	/								Photos #14, #15, #16
4	X	X	X	X	X	X	X	X	X	/								Photos #19, #20
5	X	X	X	X	X	X	X	X	X	/								Photos #11, #12, #13
6	X	X	X	X	X	X	X	X	X	/								

Rear Balconies – North Side Floor Levels	Shutter Removal	Pre-Condition Survey	Pressure Clean	Stucco Repairs (sf)	Floor Finish Removal	Slab Repair (cf)	Overhead Rpr (cf)	Column Repair (cf)	Slab Edge (cf)	Crack Repair (lf)	Deck Sloping (sf)	Deck WP	Building Sealants	Window Perimeter Sealants	Paint (Primer)	Paint (Finish)	Punch-Out	Comments
1	-	X	X	/	-	-	/	/	-	/								Photos #24, #25, #26
2	X	X	X	/	X	/	/	/	/	/								
3	X	X	X	/	X	/	/	/	/	/								
4	X	X	X	/	X	/	/	/	/	/								
5	X	X	X	/	X	/	/	/	/	/								
6	X	X	X	/	X	/	/	/	/	/								Photos #21, #22, #23

FIELD OBSERVATION REPORT – WEEK OF: 7/17/2023
R2107-012 Island Inn, Concrete Repairs:

Legend	
/	In Progress
X	Complete

Front Balconies – North Side Floor Levels	Shutter Removal	Pre-Condition Survey	Pressure Clean	Stucco Repairs (sf)	Floor Finish Removal	Slab Repair (cf)	Overhead Rpr (cf)	Column Repair (cf)	Slab Edge (cf)	Crack Repair (lf)	Deck Sloping (sf)	Deck WP	Building Sealants	Window Perimeter Sealants	Paint (Primer)	Paint (Finish)	Punch-Out	Comments
1	-	X	X	/	-	-	/	/	-	/								
2	X	X	X	X	X	X	X	X	X	/								
3	X	X	X	X	X	X	X	X	X	/								
4	X	X	X	X	X	X	X	X	X	/								
5	X	X	X	X	X	X	X	X	X	/								
6	X	X	X	X	X	X	X	X	X	/								

ACTION REQUIRED BY CONTRACTOR:

1. Install shoring posts to concrete damaged areas per Engineer's shoring drawings (**See previous reports**).
2. Provide epoxy injections to cracks in concrete decks and columns per the project manual and manufacturer's installation instructions (**See previous reports**).
3. Perform concrete repairs to concrete damaged areas at balcony decks per the project manual and manufacturer's installation instructions. If the sliding glass door is impacting the ability to properly perform the repair, then it is recommended to remove the SGD, complete the repair, and re-install the SGD afterwards (**See previous reports**).
4. Perform concrete repairs to concrete damaged areas at the lobby ceiling per the project manual and manufacturer's installation instructions (**See previous reports**).
5. Significant cracks in the roof slab to column connections will require epoxy injections as per the project manual (**See previous report**).

ACTION REQUIRED BY ENGINEER:

1. Provide ESI for through wall AC curb flashing detail.
2. Provide ESI for separation wall to balcony slab edge detail.

ACTION REQUIRED BY OWNER:

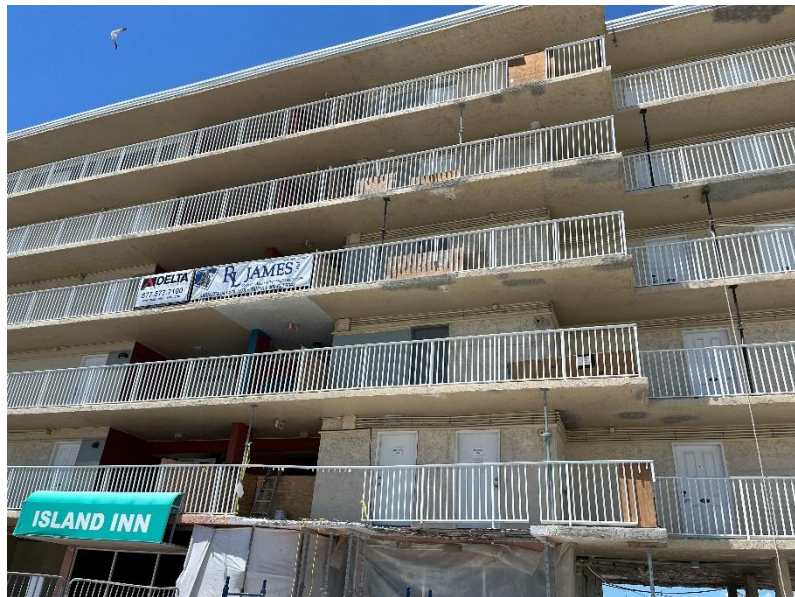
1. None.

GENERAL COMMENTS:

1. Stucco damage was observed at various areas. Contractor has removed the debonded stucco and is currently performing stucco repairs (**Photographs #4, #5**).

PHOTOGRAPHS

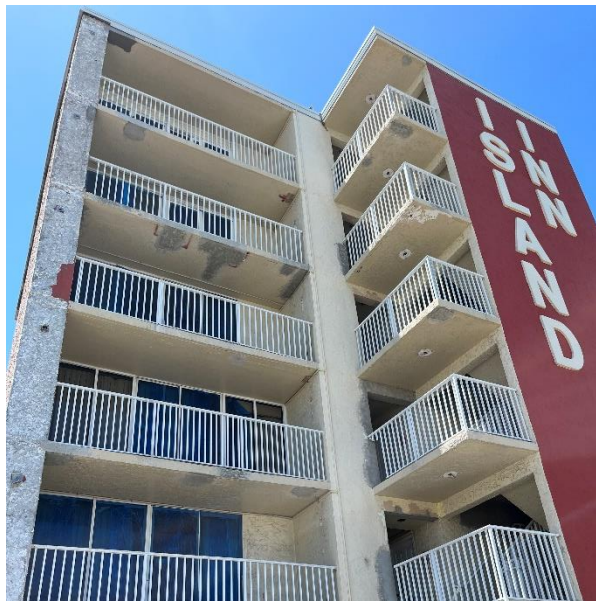
PHOTOGRAPH #1



ISLAND INN Overview

Overview of the progress of work.

PHOTOGRAPH #2



ISLAND INN Overview

Overview of the progress of work.

PHOTOGRAPH #3



**EAST ELEVATION
EXTERIOR WALL
Stone Removal**

Existing stone façade and mortar removal currently in progress at the exterior wall.

PHOTOGRAPH #4



**DROP #1 – REAR BALCONIES
Stucco Repairs**

Stucco repairs currently in progress at the rear balconies.

PHOTOGRAPH #5



DROP #2 – REAR BALCONIES
Stucco Repairs

Stucco repairs currently in progress at the rear balconies.

PHOTOGRAPH #6



DROP #3 – REAR BALCONIES
Concrete Repairs

Debonded concrete and stucco areas currently being marked at the rear balconies.

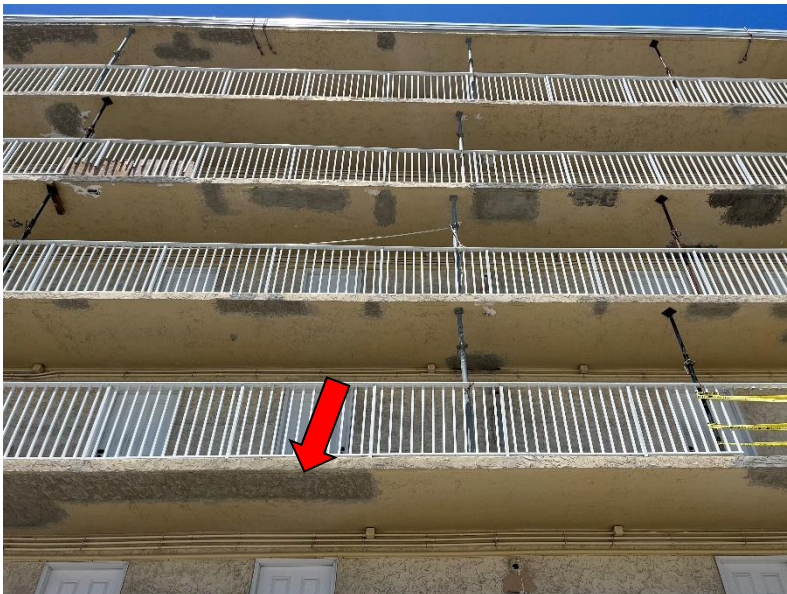
PHOTOGRAPH #7



**NORTH END WALKWAYS
Stucco Repairs**

Stucco repairs currently in progress at the rear balconies.

PHOTOGRAPH #8



**NORTH END WALKWAYS
Stucco Repairs**

Stucco repairs currently in progress at the rear balconies.

PHOTOGRAPH #9



**NORTH END WALKWAYS
Floor-to-Wall Cant Bead Mock-up**

MasterSeal NP1 polyurethane sealant used for the cant bead installation.

PHOTOGRAPH #10



**NORTH END WALKWAYS
Floor-to-Wall Cant Bead Mock-up**

DeWalt crayon wax used prior to cant bead installation as a bond breaker.

PHOTOGRAPH #11



**NORTH END WALKWAYS
Floor-to-Wall Cant Bead Mock-up**

Walkway decks cleared of dirt and debris and xylene applied at the floor-to-wall joint prior to cant bead installation.

PHOTOGRAPH #12



**NORTH END WALKWAYS
Floor-to-Wall Cant Bead Mock-up**

DeWalt crayon wax used prior to cant bead installation as a bond breaker.

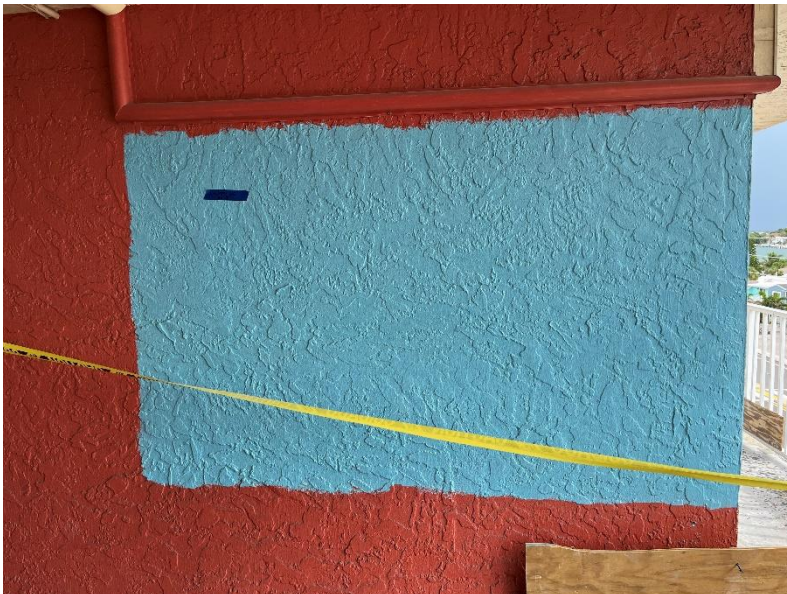
PHOTOGRAPH #13



**NORTH END WALKWAYS
Floor-to-Wall Cant Bead Mock-up**

MasterSeal NP1 polyurethane sealant applied and tooled at the floor-to-wall joint.

PHOTOGRAPH #14



**NORTH END WALKWAYS
Paint Coating Wall Samples**

The Association has chosen Manitou Blue as the exterior accent wall color, which currently has the existing reddish terracotta color.

PHOTOGRAPH #15



NORTH END WALKWAYS
Paint Coating Wall Samples

The Association has chosen Grey Matters as the exterior body wall color, which currently has the existing tan color.

PHOTOGRAPH #16



NORTH END WALKWAYS
Paint Coating Wall Samples

The Association has chosen Manitou Blue as the exterior column color, which currently has the existing reddish terracotta color.

PHOTOGRAPH #17



**NORTH END STAIRCASE
Concrete Repairs**

MasterEmaco N425 currently being applied where damaged CMU block previously existed to fill the void in the wall.

PHOTOGRAPH #18



**NORTH END STAIRCASE
Concrete Repairs**

MasterEmaco N425 currently being applied where damaged CMU block previously existed to fill the void in the wall.

PHOTOGRAPH #19



NORTH END STAIRCASE
Stucco Repairs

Stucco finish coat applied at the previously damaged areas.

PHOTOGRAPH #20



NORTH END STAIRCASE
Stucco Repairs

Stucco finish coat applied at the previously damaged areas.

PHOTOGRAPH #21



UNIT #609
Balcony Tile Removal

Existing balcony tiles currently being chipped and removed from the rear balconies and disposed of in the dumpster.

PHOTOGRAPH #22



UNIT #610
Balcony Tile Removal

Existing balcony tiles currently being chipped and removed from the rear balconies and disposed of in the dumpster.

PHOTOGRAPH #23



UNIT #611
Balcony Tile Removal

Existing balcony tiles currently being chipped and removed from the rear balconies and disposed of in the dumpster.

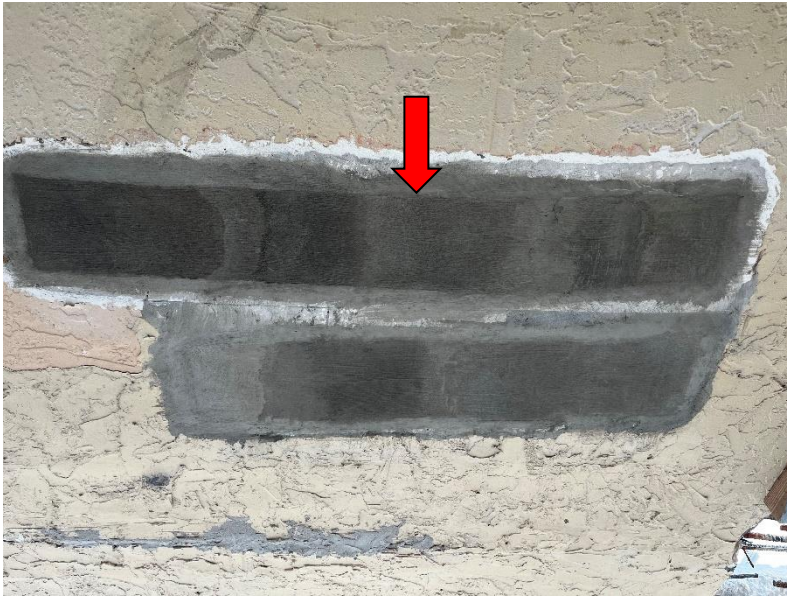
PHOTOGRAPH #24



PARKING GARAGE
Stucco Repairs

Stucco initial coat currently being applied at the damaged areas of the parking garage ceiling.

PHOTOGRAPH #25



**PARKING GARAGE
Stucco Repairs**

Stucco initial coat currently being applied at the damaged areas of the parking garage ceiling.

PHOTOGRAPH #26



**PARKING GARAGE
Stucco Repairs**

Stucco initial coat currently being applied at the damaged areas of the parking garage ceiling.