

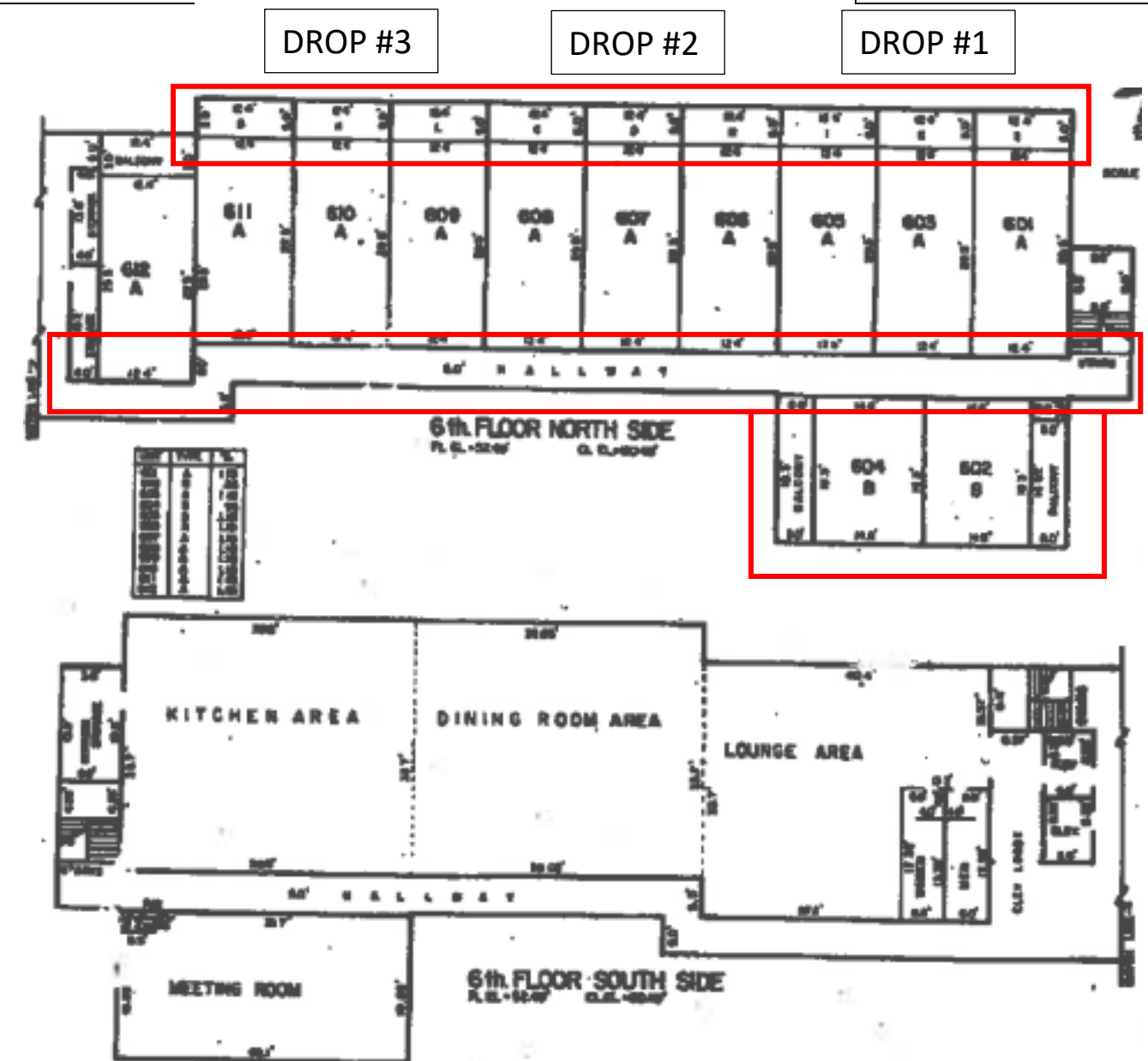
FIELD OBSERVATION REPORT – WEEK OF: 8/7/2023

Permit No.: BLDC-005621-2023
Owner: Island Inn Condominium Association, Inc.
Project Address: 9980 Gulf Blvd., Treasure Island, FL 33706
Contractor: RL James, Inc.
Inspector(s): Justin Chavis, EI and Dan Reed
Type of Assessment: Progress

Project No.: R2107-012
Contact: John Aucamp
Phone: 201-595-9313
Contact: Bob Branscombe
Phone: 239-980-3149

COPY DISTRIBUTION
☒ Owner
☒ Contractor
☒ Engineer
☒ Building Department

| | | | |
|------------------------|-----------------------|------------------------------|-----------------------------|
| Date: <u>8/8/2023</u> | Time: <u>1:15 PM</u> | Weather: <u>Partly Sunny</u> | Approx. Temp.: <u>93 °F</u> |
| Date: <u>8/10/2023</u> | Time: <u>11:15 AM</u> | Weather: <u>Partly Sunny</u> | Approx. Temp.: <u>92 °F</u> |
| Date: _____ | Time: _____ | Weather: _____ | Approx. Temp.: _____ °F |
| Date: _____ | Time: _____ | Weather: _____ | Approx. Temp.: _____ °F |
| Date: _____ | Time: _____ | Weather: _____ | Approx. Temp.: _____ °F |
| Date: _____ | Time: _____ | Weather: _____ | Approx. Temp.: _____ °F |
| Date: _____ | Time: _____ | Weather: _____ | Approx. Temp.: _____ °F |



ENGINEERS

PROJECT MANAGERS
FL EB No.8301

INSPECTORS

FIELD OBSERVATION REPORT – WEEK OF: 8/7/2023

Based on the site observations conducted, I certify that to the best of my knowledge and belief, the Work has progressed as stated in general accordance with the structural requirements provided in the project specifications and the Special Inspection Plan. This communication is intended as a record of the conditions observed as of the date of the site visit solely.

Engineer: Bruce Miller, PE, SI Date: 8/21/2023

ENGINEERS

PROJECT MANAGERS
FL EB No.8301

INSPECTORS

FIELD OBSERVATION REPORT – WEEK OF: 8/7/2023
R2107-012 Island Inn, Concrete Repairs:

| |
|---------------|
| Legend |
| / In Progress |
| X Complete |

| Walkways – North Side Floor Levels | Shutter Removal | Pre-Condition Survey | Pressure Clean | Stucco Repairs (sf) | Floor Finish Removal | Slab Repair (cf) | Overhead Rpr (cf) | Column Repair (cf) | Slab Edge (cf) | Crack Repair (lf) | Deck Sloping (sf) | Deck WP | Building Sealants | Window Perimeter Sealants | Paint (Primer) | Paint (Finish) | Punch-Out | Comments |
|------------------------------------|-----------------|----------------------|----------------|---------------------|----------------------|------------------|-------------------|--------------------|----------------|-------------------|-------------------|---------|-------------------|---------------------------|----------------|----------------|-----------|------------------|
| 1 | X | X | X | X | - | - | X | / | X | / | / | | | | | | | Photos #18 - #23 |
| 2 | X | X | X | X | X | / | X | X | X | / | / | | | | | | | Photo #29 |
| 3 | X | X | X | X | X | X | X | X | X | / | / | | | | | | | Photo #28 |
| 4 | X | X | X | X | X | X | X | X | X | / | / | | | | | | | Photo #26 & #27 |
| 5 | X | X | X | X | X | X | X | X | X | / | / | | | | | | | |
| 6 | X | X | X | X | X | X | X | X | X | / | / | | | | | | | Photo #24 & #25 |

| Rear Balconies – North Side Floor Levels | Shutter Removal | Pre-Condition Survey | Pressure Clean | Stucco Repairs (sf) | Floor Finish Removal | Slab Repair (cf) | Overhead Rpr (cf) | Column Repair (cf) | Slab Edge (cf) | Crack Repair (lf) | Deck Sloping (sf) | Deck WP | Building Sealants | Window Perimeter Sealants | Paint (Primer) | Paint (Finish) | Punch-Out | Comments |
|--|-----------------|----------------------|----------------|---------------------|----------------------|------------------|-------------------|--------------------|----------------|-------------------|-------------------|---------|-------------------|---------------------------|----------------|----------------|-----------|------------------|
| 1 | - | X | X | / | - | - | / | / | - | / | | | | | | | | |
| 2 | X | X | X | / | X | / | / | / | / | / | | | | | | | | Photos #15 - #17 |
| 3 | X | X | X | / | X | / | / | / | / | / | | | | | | | | Photos #12 - #14 |
| 4 | X | X | X | / | X | / | / | / | / | / | | | | | | | | Photos #9 - #11 |
| 5 | X | X | X | / | X | / | / | / | / | / | | | | | | | | Photos #6 - #8 |
| 6 | X | X | X | / | X | / | / | / | / | / | | | | | | | | Photos #3 - #5 |

ENGINEERS

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INSPECTORS

FIELD OBSERVATION REPORT – WEEK OF: 8/7/2023
R2107-012 Island Inn, Concrete Repairs:

| Legend | |
|--------|-------------|
| / | In Progress |
| X | Complete |

| Front Balconies – North Side Floor Levels | Shutter Removal | Pre-Condition Survey | Pressure Clean | Stucco Repairs (sf) | Floor Finish Removal | Slab Repair (cf) | Overhead Rpr (cf) | Column Repair (cf) | Slab Edge (cf) | Crack Repair (lf) | Deck Sloping (sf) | Deck WP | Building Sealants | Window Perimeter Sealants | Paint (Primer) | Paint (Finish) | Punch-Out | Comments |
|---|-----------------|----------------------|----------------|---------------------|----------------------|------------------|-------------------|--------------------|----------------|-------------------|-------------------|---------|-------------------|---------------------------|----------------|----------------|-----------|----------|
| 1 | - | X | X | / | - | - | / | / | - | / | | | | | | | | |
| 2 | X | X | X | X | X | X | X | X | X | / | | | | | | | | |
| 3 | X | X | X | X | X | X | X | X | X | / | | | | | | | | |
| 4 | X | X | X | X | X | X | X | X | X | / | | | | | | | | |
| 5 | X | X | X | X | X | X | X | X | X | / | | | | | | | | |
| 6 | X | X | X | X | X | X | X | X | X | / | | | | | | | | |

ACTION REQUIRED BY CONTRACTOR:

1. Perform concrete repairs to concrete damaged areas at balcony decks per the project manual and manufacturer's installation instructions. If the sliding glass door is impacting the ability to properly perform the repair, then it is recommended to remove the SGD, complete the repair, and re-install the SGD afterwards (**Photos #3 - #23**).
2. Remove delaminated paint coatings along the walkways and re-paint exterior walls as per manufacturer's installation instructions (**Photo #26**).
3. Install shoring posts to concrete damaged areas per Engineer's shoring drawings (**See previous reports**).
4. Provide epoxy injections to cracks in concrete decks and columns per the project manual and manufacturer's installation instructions (**See previous reports**).
5. Perform concrete repairs to concrete damaged areas at the lobby ceiling per the project manual and manufacturer's installation instructions (**See previous reports**).
6. Significant cracks in the roof slab to column connections will require epoxy injections as per the project manual (**See previous report**).

ACTION REQUIRED BY ENGINEER:

1. Provide ESI for separation wall to balcony slab edge detail.

ACTION REQUIRED BY OWNER:

1. None.

GENERAL COMMENTS:

1. Sherwin Williams Loxon primer coating applied over stucco repaired areas at the walkway ceilings damage was observed at various areas (**Photograph #1**).

ENGINEERS

PROJECT MANAGERS
FL EB No.8301

INSPECTORS

PHOTOGRAPHS

PHOTOGRAPH #1



ISLAND INN Overview

Overview of the progress of work.

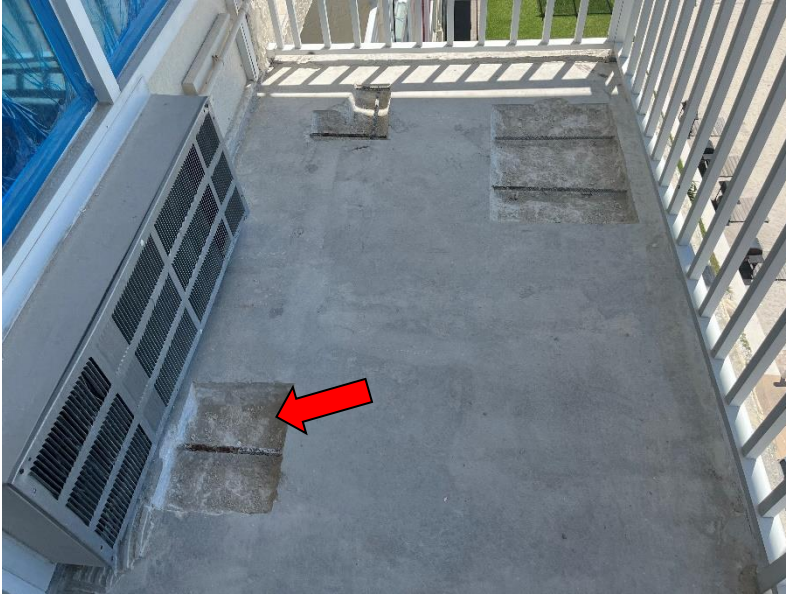
PHOTOGRAPH #2



ISLAND INN Overview

Overview of the progress of work.

PHOTOGRAPH #3



**NORTH END REAR BALCONIES
UNIT #611
Concrete Repairs**

Debonded concrete chipped and removed,
exposing rusted reinforcing steel.

PHOTOGRAPH #4



**NORTH END REAR BALCONIES
UNIT #610
Concrete Repairs**

Debonded concrete chipped and removed,
exposing rusted reinforcing steel.

PHOTOGRAPH #5



**NORTH END REAR BALCONIES
UNIT #609
Concrete Repairs**

Debonded concrete chipped and removed,
exposing rusted reinforcing steel.

PHOTOGRAPH #6



**NORTH END REAR BALCONIES
UNIT #511
Concrete Repairs**

Debonded concrete chipped and removed,
exposing rusted reinforcing steel.

PHOTOGRAPH #7



**NORTH END REAR BALCONIES
UNIT #510
Concrete Repairs**

Debonded concrete chipped and removed,
exposing rusted reinforcing steel.

PHOTOGRAPH #8



**NORTH END REAR BALCONIES
UNIT #509
Concrete Repairs**

Debonded concrete chipped and removed,
exposing rusted reinforcing steel.

PHOTOGRAPH #9



**NORTH END REAR BALCONIES
UNIT #411
Concrete Repairs**

Debonded concrete chipped and removed,
exposing rusted reinforcing steel.

PHOTOGRAPH #10



**NORTH END REAR BALCONIES
UNIT #410
Concrete Repairs**

Debonded concrete chipped and removed,
exposing rusted reinforcing steel.

PHOTOGRAPH #11



**NORTH END REAR BALCONIES
UNIT #409
Concrete Repairs**

Debonded concrete chipped and removed,
exposing rusted reinforcing steel.

PHOTOGRAPH #12



**NORTH END REAR BALCONIES
UNIT #310
Concrete Repairs**

Debonded concrete chipped and removed,
exposing rusted reinforcing steel.

PHOTOGRAPH #13



**NORTH END REAR BALCONIES
UNIT #310
Concrete Repairs**

Debonded concrete chipped and removed,
exposing rusted reinforcing steel.

PHOTOGRAPH #14



**NORTH END REAR BALCONIES
UNIT #309
Concrete Repairs**

Debonded concrete chipped and removed,
exposing rusted reinforcing steel.

PHOTOGRAPH #15



**NORTH END REAR BALCONIES
UNIT #211
Concrete Repairs**

Debonded concrete chipped and removed,
exposing rusted reinforcing steel.

PHOTOGRAPH #16



**NORTH END REAR BALCONIES
UNIT #210
Concrete Repairs**

Debonded concrete chipped and removed,
exposing rusted reinforcing steel.

PHOTOGRAPH #17



**NORTH END REAR BALCONIES
UNIT #209
Concrete Repairs**

Debonded concrete chipped and removed,
exposing rusted reinforcing steel.

PHOTOGRAPH #18



**NORTH END PARKING GARAGE
Concrete Repairs**

Debonded concrete chipped and removed,
exposing rusted reinforcing steel.

PHOTOGRAPH #19



**NORTH END PARKING GARAGE
Concrete Repairs**

Debonded concrete chipped and removed,
exposing rusted reinforcing steel.

PHOTOGRAPH #20



**NORTH END PARKING GARAGE
Concrete Repairs**

Debonded concrete chipped and removed,
exposing rusted reinforcing steel.

PHOTOGRAPH #21



**NORTH END PARKING GARAGE
Concrete Repairs**

Debonded concrete chipped and removed,
exposing rusted reinforcing steel.

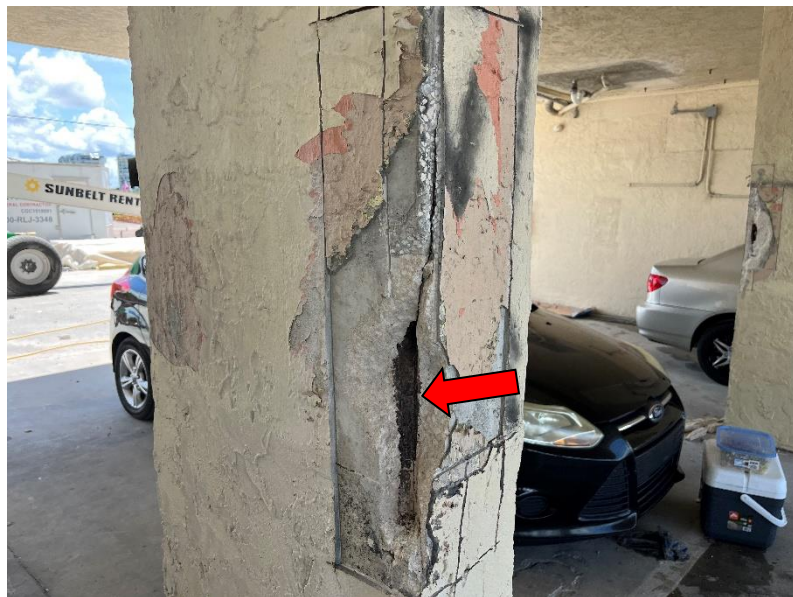
PHOTOGRAPH #22



**NORTH END PARKING GARAGE
Concrete Repairs**

Debonded concrete chipped and removed,
exposing rusted reinforcing steel.

PHOTOGRAPH #23



NORTH END PARKING GARAGE
Concrete Repairs

Debonded concrete chipped and removed, exposing rusted reinforcing steel.

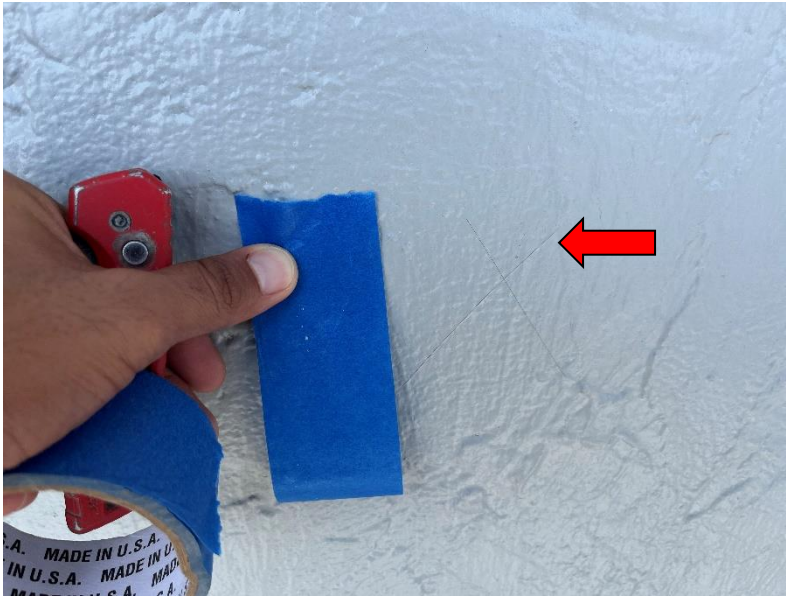
PHOTOGRAPH #24



NORTH END WALKWAYS
6TH FLOOR
Exterior Coatings

Sherwin Williams Loxon coating finish applied over the exterior walls and ceilings.

PHOTOGRAPH #25



**NORTH END WALKWAYS
6TH FLOOR
Exterior Coatings**

ASTM D3359 Method A 'X Cut' tape test performed to coating finish on walkway exterior wall and 'passed'.

PHOTOGRAPH #26



**NORTH END WALKWAYS
4TH FLOOR
Exterior Coatings**

ASTM D3359 Method A 'X Cut' tape test performed to coating finish on walkway exterior wall and 'failed'.

PHOTOGRAPH #27



**NORTH END WALKWAYS
4TH FLOOR
Exterior Coatings**

ASTM D3359 Method A 'X Cut' tape test performed to coating finish on walkway exterior wall and 'passed'.

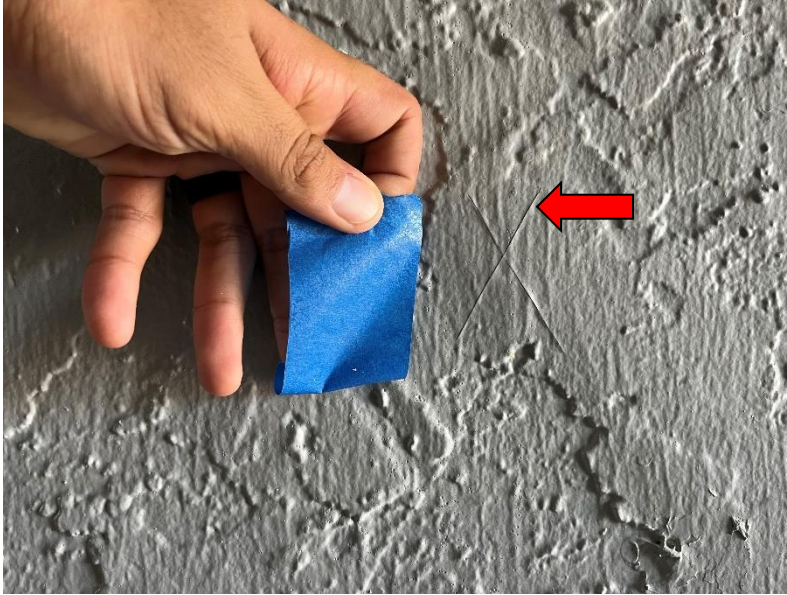
PHOTOGRAPH #28



**NORTH END WALKWAYS
3RD FLOOR
Exterior Coatings**

ASTM D3359 Method A 'X Cut' tape test performed to coating finish on walkway exterior wall and 'passed'.

PHOTOGRAPH #29



**NORTH END WALKWAYS
2ND FLOOR
Exterior Coatings**

ASTM D3359 Method A 'X Cut' tape test performed to coating finish on walkway exterior wall and 'passed'.