

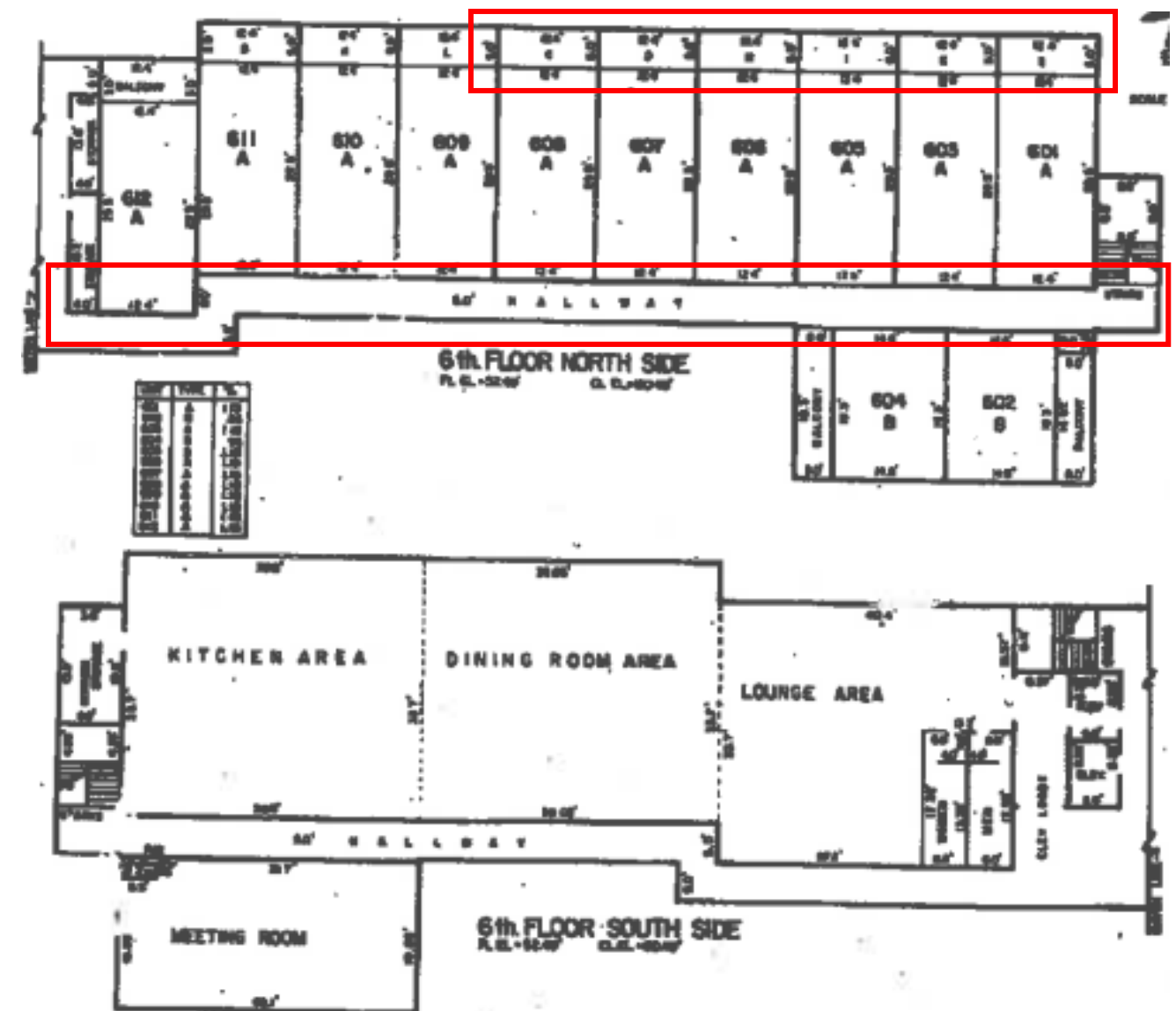
**FIELD OBSERVATION REPORT – WEEK OF: 5/8/2023**

Permit No.: \_\_\_\_\_  
Owner: Island Inn Condominium Association, Inc.  
Project Address: 9980 Gulf Blvd., Treasure Island, FL 33706  
Contractor: RL James, Inc.  
Inspector(s): Justin Chavis, EI and Dan Reed  
Type of Assessment: Progress

Project No.: R2107-012  
Contact: John Aucamp  
Phone: 201-595-9313  
Contact: Bob Branscombe  
Phone: 239-980-3149

**COPY DISTRIBUTION**  
☒ Owner  
☒ Contractor  
☒ Engineer  
☒ Building Department

Date: <u>5/16/2023</u>	Time: <u>11:00:00 AM</u>	Weather: <u>Partly Sunny</u>	Approx. Temp.: <u>82 °F</u>
Date: <u>5/19/2023</u>	Time: <u>4:00:00 PM</u>	Weather: <u>Partly Sunny</u>	Approx. Temp.: <u>86 °F</u>
Date: <u>5/23/2023</u>	Time: <u>11:00:00 AM</u>	Weather: <u>Partly Cloudy</u>	Approx. Temp.: <u>85 °F</u>
Date: <u>5/25/2023</u>	Time: <u>1:00:00 PM</u>	Weather: <u>Mostly Cloudy</u>	Approx. Temp.: <u>81 °F</u>
Date: <u>5/30/2023</u>	Time: <u>2:00:00 PM</u>	Weather: <u>Mostly Sunny</u>	Approx. Temp.: <u>85 °F</u>
Date: <u>6/1/2023</u>	Time: <u>10:00:00 AM</u>	Weather: <u>Partly Sunny</u>	Approx. Temp.: <u>82 °F</u>
Date: <u>6/7/2023</u>	Time: <u>1:00:00 PM</u>	Weather: <u>Clear</u>	Approx. Temp.: <u>85 °F</u>
Date: <u>6/9/2023</u>	Time: <u>1:00:00 PM</u>	Weather: <u>Partly Sunny</u>	Approx. Temp.: <u>84 °F</u>



ENGINEERS

PROJECT MANAGERS  
FL EB No.8301

INSPECTORS

**FIELD OBSERVATION REPORT – WEEK OF: 5/8/2023**

Based on the site observations conducted, I certify that to the best of my knowledge and belief, the Work has progressed as stated in general accordance with the structural requirements provided in the project specifications and the Special Inspection Plan. This communication is intended as a record of the conditions observed as of the date of the site visit solely.

Engineer: Bruce Miller, PE Date: 6/20/2023

ENGINEERS

PROJECT MANAGERS  
FL EB No.8301

INSPECTORS

FIELD OBSERVATION REPORT – WEEKS

OF:

R2107-012 Island Inn, Concrete Repairs:

5/8/2023 - 6/5/2023

Drops

Legend

/ In Progress

X Complete

Walkways – North Side Floor Levels	Shutter Removal	Pre-Condition Survey	Pressure Clean	Stucco Repairs (sf)	Floor Finish Removal	Slab Repair (cf)	Overhead Rpr (cf)	Column Repair (cf)	Slab Edge (cf)	Crack Repair (lf)	Deck Sloping (sf)	Deck WP	Building Sealants	Window Perimeter Sealants	Paint (Primer)	Paint (Finish)	Punch-Out	Comments
1	X	X	X		X													
2	X	X	X		X													
3	X	X	X		X													
4	X	X	X		X													
5	X	X	X		X													
6	X	X	X		X													

Rear Balconies – North Side Floor Levels	Shutter Removal	Pre-Condition Survey	Pressure Clean	Stucco Repairs (sf)	Floor Finish Removal	Slab Repair (cf)	Overhead Rpr (cf)	Column Repair (cf)	Slab Edge (cf)	Crack Repair (lf)	Deck Sloping (sf)	Deck WP	Building Sealants	Window Perimeter Sealants	Paint (Primer)	Paint (Finish)	Punch-Out	Comments
1	X	X	X		X													
2	X	X	X		X													
3	X	X	X		X													
4	X	X	X		X													
5	X	X	X		X													
6	X	X	X		X													

**FIELD OBSERVATION REPORT – WEEKS**

**OF:** **5/8/2023 - 6/5/2023**  
**R2107-012 Island Inn, Concrete Repairs: Drops**

Legend

/ In Progress

X Complete

**ACTION REQUIRED BY CONTRACTOR:**

1. Submit Construction Schedule and Schedule of Values.
2. Submit Shoring plan for walkways and balconies, where damaged, by a Professional Engineer.
3. Schedule Master Builder's technical representative to be on-site to observe concrete repair mock-ups.
4. Concrete coverage for the reinforcing steel at the walkway and balcony decks does not meet the 3/4" minimum thickness and will require galvanized anodes to be installed. Submit anodes data sheet for Engineer review.
5. Schedule galvanized anodes manufacturer's technical representative to be on-site to observe anodes installation.

**ACTION REQUIRED BY ENGINEER:**

1. Review Contractor's submittals.
2. Provide ESI for balcony and walkway deck damaged areas that require additional reinforcing steel reinforcement.

**ACTION REQUIRED BY OWNER:**

1. Select deck waterproofing texture and color.

**GENERAL COMMENTS:**

1. Concrete damages were observed at various units. Contractor has removed the loose concrete and cleaned and coated the reinforcing steel.

## PHOTOGRAPHS

**PHOTOGRAPH #1**



### **ISLAND INN Overview**

Overview of the progress of work.

**PHOTOGRAPH #2**



### **ISLAND INN Site Fencing**

Site fencing installed around the perimeter of the property.



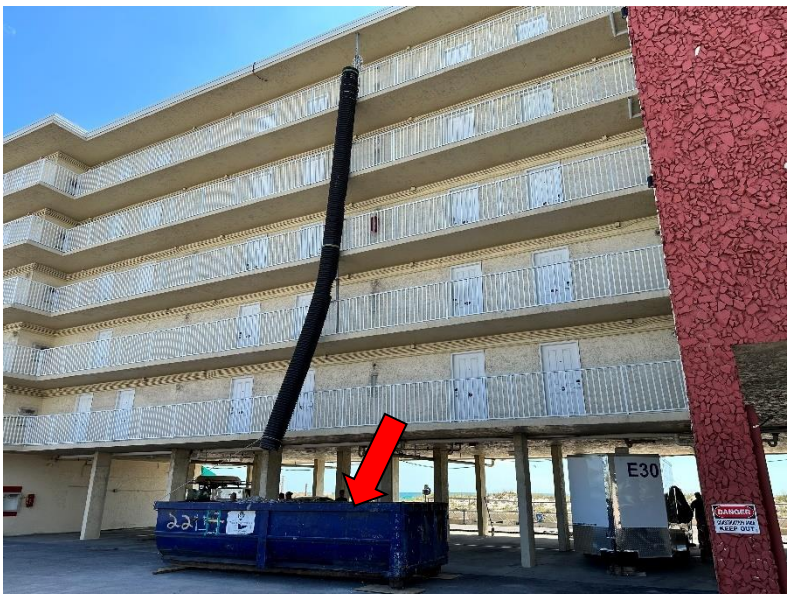
**PHOTOGRAPH #3**



**ISLAND INN  
Site Fencing**

Site fencing installed around the perimeter of the property.

**PHOTOGRAPH #4**



**ISLAND INN  
Dumpsters**

Dumpster delivered and positioned in front of the building.

**PHOTOGRAPH #5**



**ISLAND INN  
Storage Trailer**

Contractor mobilized to the site with storage trailer and material.

**PHOTOGRAPH #6**



**ISLAND INN  
Storage Material**

MasterEmaco N425 delivered and stored on-site.



**PHOTOGRAPH #7**



**ISLAND INN  
Storage Material**

MasterEmaco 1061DR delivered and stored on-site.

**PHOTOGRAPH #8**



**DROPS #1 & 2  
Swing Stage Set-up**

Swing stages set up at the rear (north side) of the building along Drops #1 & 2.



**PHOTOGRAPH #9**



**DROP #1 – SIXTH FLOOR  
Balcony Tile Removal**

Tile removed from rear balconies exposing the concrete slab.

**PHOTOGRAPH #10**



**DROP #1 – FIFTH FLOOR  
Balcony Tile Removal**

Tile removed from rear balconies exposing the concrete slab.

**PHOTOGRAPH #11**



**DROP #1 – THIRD FLOOR  
Balcony Tile Removal**

Tile removed from rear balconies exposing the concrete slab.

**PHOTOGRAPH #12**



**DROP #1 – SIXTH FLOOR  
Concrete Repairs**

Damaged concrete and reinforcing steel observed and areas spray marked at the balcony deck.



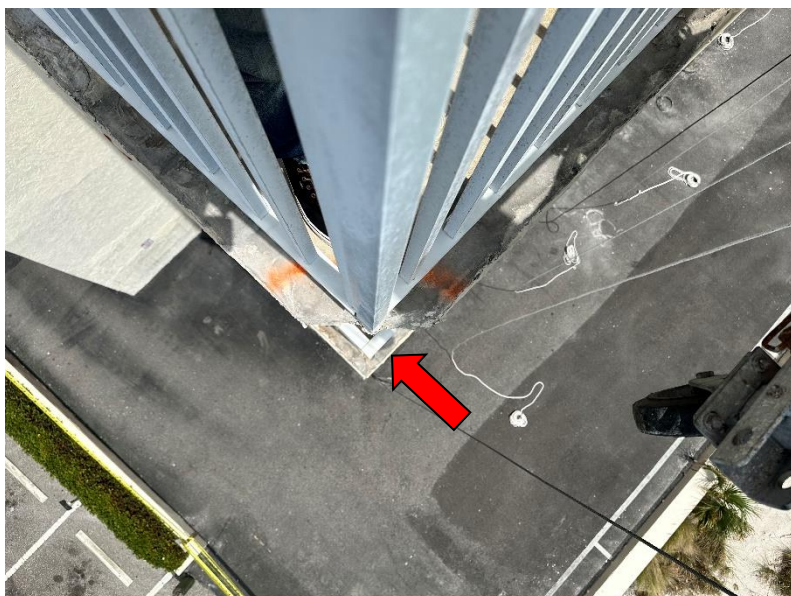
**PHOTOGRAPH #13**



**DROP #1 – SIXTH FLOOR  
Concrete Repairs**

Damaged concrete observed and areas spray marked at the overhead balcony deck.

**PHOTOGRAPH #14**

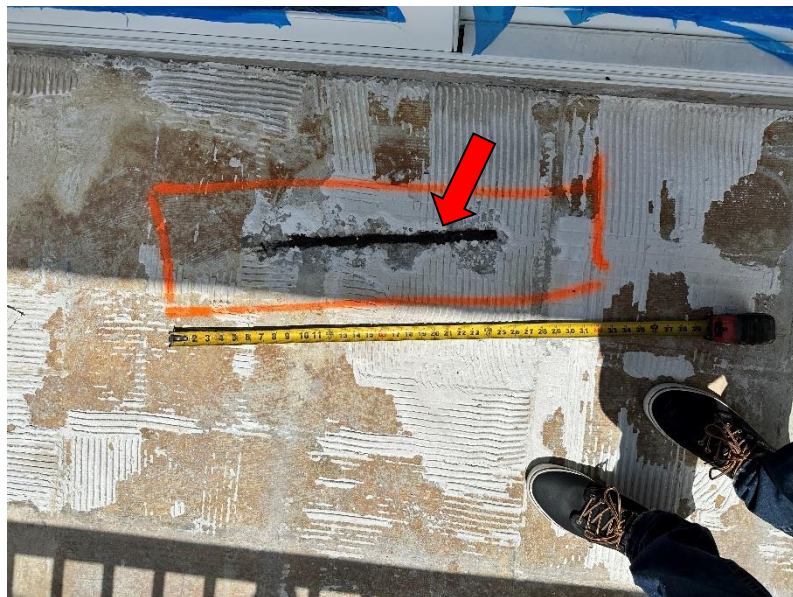


**DROP #1 – SIXTH FLOOR  
Concrete Repairs**

Damaged concrete observed and area spray marked at the corner of the balcony deck.



**PHOTOGRAPH #15**



**DROP #1 – FIFTH FLOOR  
Concrete Repairs**

Damaged concrete and reinforcing steel observed and areas spray marked at the balcony deck.

**PHOTOGRAPH #16**



**DROP #1 – FOURTH FLOOR  
Concrete Repairs**

Damaged concrete and reinforcing steel observed and areas spray marked at the balcony deck.

**PHOTOGRAPH #17**



**DROP #1 – FOURTH FLOOR  
Concrete Repairs**

Damaged concrete observed and areas spray marked at the overhead balcony deck.

**PHOTOGRAPH #18**



**DROP #1 – THIRD FLOOR  
Concrete Repairs**

Damaged concrete and reinforcing steel observed and areas spray marked at the balcony deck.



**PHOTOGRAPH #19**



**DROP #1 – THIRD FLOOR  
Concrete Repairs**

Damaged concrete observed and areas spray marked at the overhead balcony deck.

**PHOTOGRAPH #20**



**DROP #1 – SECOND FLOOR  
Concrete Repairs**

Damaged concrete and reinforcing steel observed and areas spray marked at the balcony deck.



**PHOTOGRAPH #21**



**DROP #1 – SECOND FLOOR  
Concrete Repairs**

Damaged concrete observed and areas spray marked at the overhead balcony deck.

**PHOTOGRAPH #22**



**DROP #2 – SIXTH FLOOR  
Balcony Tile Removal**

Tile removed from rear balconies exposing the concrete slab.

**PHOTOGRAPH #23**



**DROP #2 – SIXTH FLOOR  
Concrete Repairs**

Damaged concrete observed and areas spray marked at the balcony deck.

**PHOTOGRAPH #24**



**DROP #2 – FIFTH FLOOR  
Balcony Tile Removal**

Tile removed from rear balconies exposing the concrete slab.



**PHOTOGRAPH #25**



**DROP #2 – FIFTH FLOOR  
Concrete Repairs**

Damaged concrete and areas spray marked at the balcony deck.

**PHOTOGRAPH #26**



**DROP #2 – FIFTH FLOOR  
Concrete Repairs**

Damaged concrete and areas spray marked at the balcony deck slab edge.



**PHOTOGRAPH #27**



**DROP #2 – FOURTH FLOOR  
Balcony Tile Removal**

Tile removed from rear balconies exposing the concrete slab.

**PHOTOGRAPH #28**



**DROP #2 – FOURTH FLOOR  
Concrete Repairs**

Damaged concrete and reinforcing steel observed and areas spray marked at the balcony deck.

**PHOTOGRAPH #29**



**DROP #2 – FOURTH FLOOR  
Concrete Repairs**

Damaged concrete and reinforcing steel observed and areas spray marked at the balcony deck.

**PHOTOGRAPH #30**



**DROP #2 – THIRD FLOOR  
Balcony Tile Removal**

Tile removed from rear balconies exposing the concrete slab.



**PHOTOGRAPH #31**



**DROP #2 – THIRD FLOOR  
Concrete Repairs**

Damaged concrete and reinforcing steel observed and areas spray marked at the balcony deck.

**PHOTOGRAPH #32**



**DROP #2 – THIRD FLOOR  
Concrete Repairs**

Damaged concrete and reinforcing steel observed and areas spray marked at the overhead balcony deck.



**PHOTOGRAPH #33**



**DROP #2 – SECOND FLOOR  
Balcony Tile Removal**

Tile removed from rear balconies exposing the concrete slab.

**PHOTOGRAPH #34**



**DROP #2 – SECOND FLOOR  
Concrete Repairs**

Damaged concrete removed and rusted reinforcing steel fully exposed in preparation for concrete repairs.

**PHOTOGRAPH #35**



**DROP #2 – SECOND FLOOR  
Concrete Repairs**

Damaged concrete removed and rusted reinforcing steel fully exposed in preparation for concrete repairs.

**PHOTOGRAPH #36**

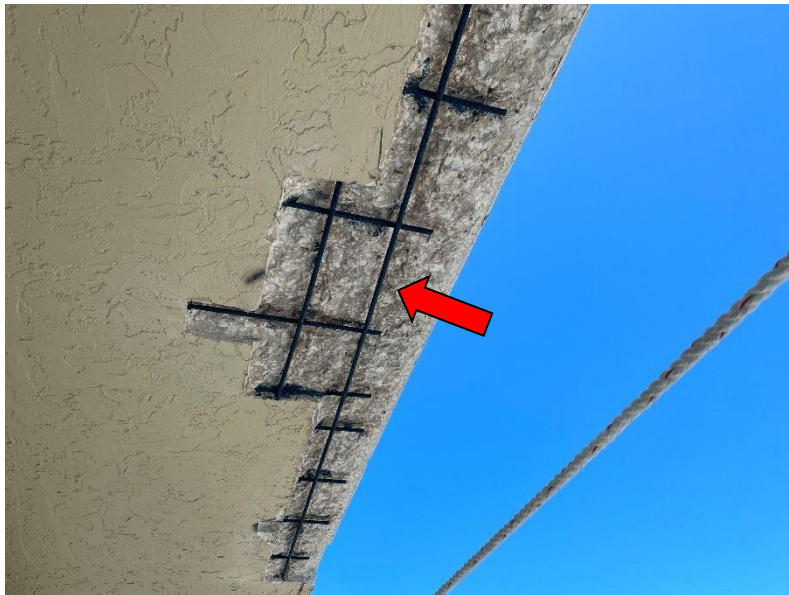


**DROP #2 – SECOND FLOOR  
Concrete Repairs**

Damaged concrete removed and rusted reinforcing steel fully exposed in preparation for concrete repairs.



**PHOTOGRAPH #37**



**WALKWAYS – SIXTH FLOOR**  
**Concrete Repairs**

Damaged reinforcing steel fully exposed, cleaned and epoxy coated at the overhead walkway deck.

**PHOTOGRAPH #38**



**WALKWAYS – SIXTH FLOOR**  
**Concrete Repairs**

Damaged reinforcing steel fully exposed, cleaned and epoxy coated at the overhead walkway deck.



**PHOTOGRAPH #39**



**WALKWAYS – SIXTH FLOOR**  
**Concrete Repairs**

Damaged reinforcing steel fully exposed, cleaned and epoxy coated at the walkway deck.

**PHOTOGRAPH #40**



**WALKWAYS – SIXTH FLOOR**  
**Concrete Repairs**

Epoxy coating not fully applied over reinforcing steel.

**PHOTOGRAPH #41**



**WALKWAYS – SIXTH FLOOR**  
**Concrete Repairs**

Damaged reinforcing steel fully exposed, cleaned and epoxy coated at the column.

**PHOTOGRAPH #42**



**WALKWAYS – FIFTH FLOOR**  
**Concrete Repairs**

Damaged reinforcing steel fully exposed, cleaned and epoxy coated at the walkway deck.



**PHOTOGRAPH #43**



**WALKWAYS – FIFTH FLOOR**  
**Concrete Repairs**

Damaged reinforcing steel fully exposed, cleaned and epoxy coated at the walkway deck.

**PHOTOGRAPH #44**



**WALKWAYS – FIFTH FLOOR**  
**Concrete Repairs**

Area underneath reinforcing steel for new concrete coverage is 3/4" minimum as per manufacturer's installation instructions.

**PHOTOGRAPH #45**



**WALKWAYS – FOURTH FLOOR**  
**Concrete Repairs**

Damaged reinforcing steel fully exposed, cleaned and epoxy coated at the overhead walkway deck.

**PHOTOGRAPH #46**



**WALKWAYS – FOURTH FLOOR**  
**Concrete Repairs**

Damaged reinforcing steel fully exposed, cleaned and epoxy coated at the overhead walkway deck.



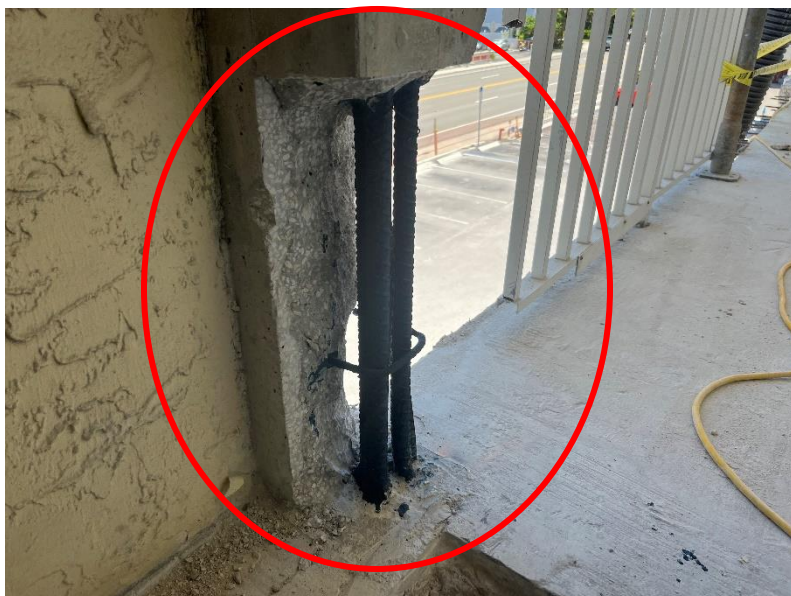
**PHOTOGRAPH #47**



**WALKWAYS – THIRD FLOOR**  
**Concrete Repairs**

Damaged reinforcing steel fully exposed, cleaned and epoxy coated at the walkway deck.

**PHOTOGRAPH #48**



**WALKWAYS – THIRD FLOOR**  
**Concrete Repairs**

Damaged concrete removed and rusted reinforcing steel fully exposed in preparation for concrete repairs.

**PHOTOGRAPH #49**



**WALKWAYS – THIRD FLOOR**  
**Concrete Repairs**

Damaged concrete observed at the walkway staircase.

**PHOTOGRAPH #50**



**WALKWAYS – SECOND FLOOR**  
**Concrete Repairs**

Existing reinforcing steel does not have proper concrete coverage of 3/4" minimum. This is typical of many areas throughout the walkway and balcony decks.