

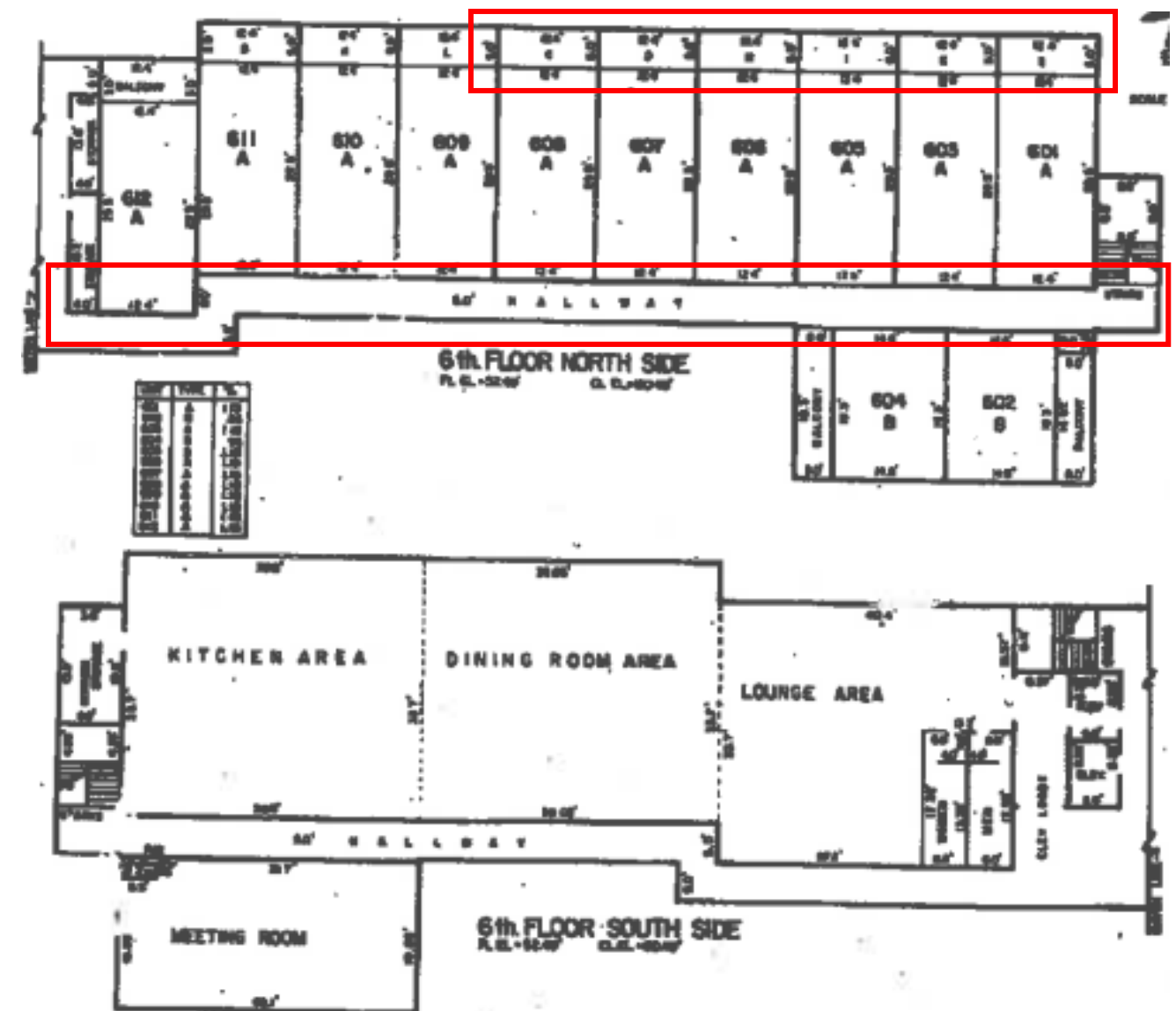
**FIELD OBSERVATION REPORT – WEEK OF: 7/3/2023**

Permit No.: BLDC-005621-2023  
Owner: Island Inn Condominium Association, Inc.  
Project Address: 9980 Gulf Blvd., Treasure Island, FL 33706  
Contractor: RL James, Inc.  
Inspector(s): Justin Chavis, EI and Dan Reed  
Type of Assessment: Progress

Project No.: R2107-012  
Contact: John Aucamp  
Phone: 201-595-9313  
Contact: Bob Branscombe  
Phone: 239-980-3149

COPY DISTRIBUTION  
☒ Owner  
☒ Contractor  
☒ Engineer  
☒ Building Department

Date: <u>7/3/2023</u>	Time: <u>10:00:00 AM</u>	Weather: <u>Partly Sunny</u>	Approx. Temp.: <u>87 °F</u>
Date: <u>7/6/2023</u>	Time: <u>10:00:00 AM</u>	Weather: <u>Partly Sunny</u>	Approx. Temp.: <u>88 °F</u>
Date: <u>  </u>	Time: <u>  </u>	Weather: <u>  </u>	Approx. Temp.: <u>°F</u>
Date: <u>  </u>	Time: <u>  </u>	Weather: <u>  </u>	Approx. Temp.: <u>°F</u>
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ENGINEERS

PROJECT MANAGERS  
FL EB No.8301

INSPECTORS

**FIELD OBSERVATION REPORT – WEEK OF: 7/3/2023**

Based on the site observations conducted, I certify that to the best of my knowledge and belief, the Work has progressed as stated in general accordance with the structural requirements provided in the project specifications and the Special Inspection Plan. This communication is intended as a record of the conditions observed as of the date of the site visit solely.

Engineer: Bruce Miller, PE, SI Date: 7/10/2023

ENGINEERS

PROJECT MANAGERS  
FL EB No.8301

INSPECTORS

**FIELD OBSERVATION REPORT – WEEK OF: 7/3/2023**  
**R2107-012 Island Inn, Concrete Repairs:**

Legend	
/	In Progress
X	Complete

Walkways – North Side Floor Levels	Shutter Removal	Pre-Condition Survey	Pressure Clean	Stucco Repairs (sf)	Floor Finish Removal	Slab Repair (cf)	Overhead Rpr (cf)	Column Repair (cf)	Slab Edge (cf)	Crack Repair (lf)	Deck Sloping (sf)	Deck WP	Building Sealants	Window Perimeter Sealants	Paint (Primer)	Paint (Finish)	Punch-Out	Comments
1	X	X	X	/	X	/	/	/	/	/								
2	X	X	X	/	X	/	/	/	/	/								
3	X	X	X	/	X	/	/	/	/	/								Photo #32
4	X	X	X	/	X	/	/	/	/	/								Photo #31
5	X	X	X	/	X	/	/	/	/	/								
6	X	X	X	/	X	/	/	/	/	/								

Rear Balconies – North Side Floor Levels	Shutter Removal	Pre-Condition Survey	Pressure Clean	Stucco Repairs (sf)	Floor Finish Removal	Slab Repair (cf)	Overhead Rpr (cf)	Column Repair (cf)	Slab Edge (cf)	Crack Repair (lf)	Deck Sloping (sf)	Deck WP	Building Sealants	Window Perimeter Sealants	Paint (Primer)	Paint (Finish)	Punch-Out	Comments
1	X	X	X	/	X	/	/	/	/	/								
2	X	X	X	/	X	/	/	/	/	/								Photos #13, #14, #15, and #26
3	X	X	X	/	X	/	/	/	/	/								Photos #11, #12, #23, #24, and #25
4	X	X	X	/	X	/	/	/	/	/								Photos #8, #9, #10, #20, #21, and #22
5	X	X	X	/	X	/	/	/	/	/								Photos #6, #7, #17, #18, and #19
6	X	X	X	/	X	/	/	/	/	/								Photos #4, #5, #15, and #16

**FIELD OBSERVATION REPORT – WEEK OF: 7/3/2023**  
**R2107-012 Island Inn, Concrete Repairs:**

Legend	
/	In Progress
X	Complete

Front Balconies – North Side Floor Levels	Shutter Removal	Pre-Condition Survey	Pressure Clean	Stucco Repairs (sf)	Floor Finish Removal	Slab Repair (cf)	Overhead Rpr (cf)	Column Repair (cf)	Slab Edge (cf)	Crack Repair (lf)	Deck Sloping (sf)	Deck WP	Building Sealants	Window Perimeter Sealants	Paint (Primer)	Paint (Finish)	Punch-Out	Comments
1	X	X	X	/	X	/	/	/	/	/								
2	X	X	X	/	X	/	/	/	/	/								
3	X	X	X	/	X	/	/	/	/	/								Photos #29 and #30
4	X	X	X	/	X	/	/	/	/	/								Photos #27 and #28
5	X	X	X	/	X	/	/	/	/	/								
6	X	X	X	/	X	/	/	/	/	/								

**ACTION REQUIRED BY CONTRACTOR:**

1. Install shoring posts to concrete damaged areas per Engineer's shoring drawings (**See previous report**).
2. Provide epoxy injections to cracks in concrete decks and columns per the project manual and manufacturer's installation instructions (**See previous report**).
3. Perform concrete repairs to concrete damaged areas at the 2<sup>nd</sup> floor walkway deck. Sister additional #5 rebar to existing rebar, where 20% or more section loss has occurred, the width of the deck and epoxy dowel into the concrete slab; where extensive depth of concrete has been removed, it is recommended to perform a full depth concrete repair; per project manual and manufacturer's installation instructions (**See previous report**).
4. Perform concrete repairs to concrete damaged areas at balcony decks per the project manual and manufacturer's installation instructions. If the sliding glass door is impacting the ability to properly perform the repair, then it is recommended to remove the SGD, complete the repair, and re-install the SGD afterwards. It is also recommended to open up the separation walls for the Engineer to evaluate the condition of the wall studs, as it may be determined to be insufficient support for the sliders and the Engineer will need to provide design repairs accordingly (**See previous report**).
5. Perform concrete repairs to concrete damaged areas at the lobby ceiling and parking garage per the project manual and manufacturer's installation instructions (**See previous report**).
6. Remove damaged CMU block below tie-beam and patch area with repair mortar or 4" CMU solid block with mortar (**See previous report**).
7. Significant structural damage to the roof slab and columns of the exterior wall will require immediate shoring w/ Karin's Engineering involved. In addition, the backside of this wall will need to be exposed from the inside of the units on the top floor, for us to inspect the full extent of damage to gather up the information needed to provide a structural design repair (**Photos #33 - #36**).

**FIELD OBSERVATION REPORT – WEEK OF: 7/3/2023**  
**R2107-012 Island Inn, Concrete Repairs:**

Legend	
/	In Progress
X	Complete

**ACTION REQUIRED BY ENGINEER:**

1. Provide ESI for concrete column damaged areas that require additional reinforcing steel reinforcement (**See previous report**).

**ACTION REQUIRED BY OWNER:**

1. Select deck waterproofing texture and color.

**GENERAL COMMENTS:**

1. Concrete damages were observed at various units. Contractor has removed the loose concrete and cleaned and coated the reinforcing steel.

## PHOTOGRAPHS

**PHOTOGRAPH #1**



### **ISLAND INN Overview**

Overview of the progress of work.

**PHOTOGRAPH #2**



### **ISLAND INN Overview**

Overview of the progress of work.



**PHOTOGRAPH #3**



**DROP #1 – REAR BALCONIES**  
**Concrete Repairs**

Application of repair mortar to damaged concrete areas in progress at the rear balcony decks and ceilings.

**PHOTOGRAPH #4**



**DROP #1 – SIXTH FLOOR**  
**Concrete Repairs**

Application of repair mortar to damaged concrete areas in progress at the rear balcony decks and ceilings.

**PHOTOGRAPH #5**



**DROP #1 – SIXTH FLOOR  
Concrete Repairs**

Application of repair mortar to damaged concrete areas in progress at the rear balcony decks and ceilings.

**PHOTOGRAPH #6**



**DROP #1 – FIFTH FLOOR  
Concrete Repairs**

Application of repair mortar to damaged concrete areas in progress at the rear balcony decks and ceilings.



**PHOTOGRAPH #7**



**DROP #1 – FIFTH FLOOR  
Concrete Repairs**

Application of repair mortar to damaged concrete areas in progress at the rear balcony decks and ceilings.

**PHOTOGRAPH #8**



**DROP #1 – FOURTH FLOOR  
Concrete Repairs**

Application of repair mortar to damaged concrete areas in progress at the rear balcony decks and ceilings.

**PHOTOGRAPH #9**



**DROP #1 – FOURTH FLOOR  
Concrete Repairs**

Application of repair mortar to damaged concrete areas in progress at the rear balcony decks and ceilings.

**PHOTOGRAPH #10**

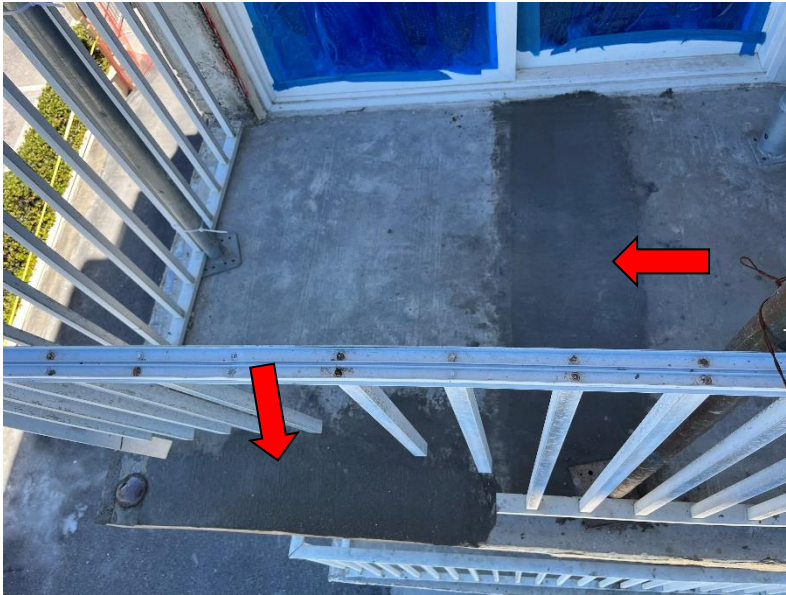


**DROP #1 – FOURTH FLOOR  
Concrete Repairs**

Application of repair mortar to damaged concrete areas in progress at the rear balcony decks and ceilings.



**PHOTOGRAPH #11**



**DROP #1 – THIRD FLOOR  
Concrete Repairs**

Application of repair mortar to damaged concrete areas in progress at the rear balcony decks and ceilings.

**PHOTOGRAPH #12**



**DROP #1 – THIRD FLOOR  
Concrete Repairs**

Application of repair mortar to damaged concrete areas in progress at the rear balcony decks and ceilings. Repaired areas sounded for proper adhesion of new repair mortar to existing concrete.

**PHOTOGRAPH #13**



**DROP #1 – SECOND FLOOR  
Concrete Repairs**

Application of repair mortar to damaged concrete areas in progress at the rear balcony decks and ceilings.

**PHOTOGRAPH #14**



**DROP #1 – SECOND FLOOR  
Concrete Repairs**

Application of repair mortar to damaged concrete areas in progress at the rear balcony decks and ceilings.



**PHOTOGRAPH #15**



**DROP #2 – SIXTH FLOOR  
Concrete Repairs**

Application of repair mortar to damaged concrete areas in progress at the rear balcony decks and ceilings.

**PHOTOGRAPH #16**



**DROP #2 – SIXTH FLOOR  
Concrete Repairs**

Application of repair mortar to damaged concrete areas in progress at the rear balcony decks and ceilings.

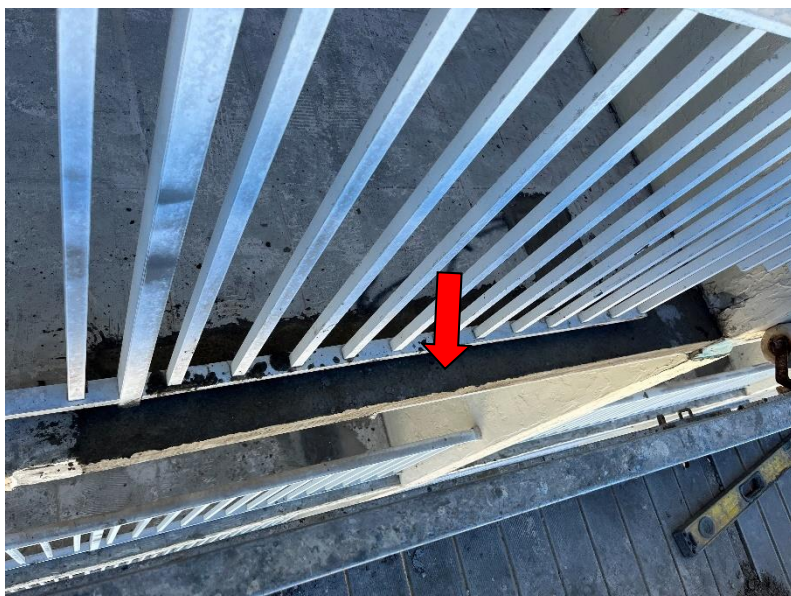
**PHOTOGRAPH #17**



**DROP #2 – FIFTH FLOOR  
Concrete Repairs**

Application of repair mortar to damaged concrete areas in progress at the rear balcony decks and ceilings.

**PHOTOGRAPH #18**



**DROP #2 – FIFTH FLOOR  
Concrete Repairs**

Application of repair mortar to damaged concrete areas in progress at the rear balcony decks and ceilings.



**PHOTOGRAPH #19**



**DROP #2 – FIFTH FLOOR  
Concrete Repairs**

Application of repair mortar to damaged concrete areas in progress at the rear balcony decks and ceilings.

**PHOTOGRAPH #20**



**DROP #2 – FOURTH FLOOR  
Concrete Repairs**

Application of repair mortar to damaged concrete areas in progress at the rear balcony decks and ceilings.

**PHOTOGRAPH #21**



**DROP #2 – FOURTH FLOOR  
Concrete Repairs**

Application of repair mortar to damaged concrete areas in progress at the rear balcony decks and ceilings.

**PHOTOGRAPH #22**



**DROP #2 – FOURTH FLOOR  
Concrete Repairs**

Application of repair mortar to damaged concrete areas in progress at the rear balcony decks and ceilings.



**PHOTOGRAPH #23**



**DROP #2 – THIRD FLOOR  
Concrete Repairs**

Application of repair mortar to damaged concrete areas in progress at the rear balcony decks and ceilings.

**PHOTOGRAPH #24**



**DROP #2 – THIRD FLOOR  
Concrete Repairs**

Application of repair mortar to damaged concrete areas in progress at the rear balcony decks and ceilings.

**PHOTOGRAPH #25**



**DROP #2 – THIRD FLOOR  
Concrete Repairs**

Application of repair mortar to damaged concrete areas in progress at the rear balcony decks and ceilings.

**PHOTOGRAPH #26**



**DROP #2 – SECOND FLOOR  
Concrete Repairs**

Application of repair mortar to damaged concrete areas in progress at the rear balcony decks and ceilings.



**PHOTOGRAPH #27**



**UNIT #402**  
**Concrete Repairs**

Application of repair mortar to damaged concrete areas in progress at the balcony deck and ceiling.

**PHOTOGRAPH #28**



**UNIT #402**  
**Concrete Repairs**

Application of repair mortar to damaged concrete areas in progress at the balcony deck and ceiling.

**PHOTOGRAPH #29**



**UNIT #304**  
**Concrete Repairs**

Application of repair mortar to damaged concrete areas in progress at the balcony deck and ceiling.

**PHOTOGRAPH #30**



**UNIT #304**  
**Concrete Repairs**

Application of repair mortar to damaged concrete areas in progress at the balcony deck and ceiling.



**PHOTOGRAPH #31**



**WALKWAYS – FOURTH FLOOR**  
**Stucco Finish**

Textured stucco finish application to concrete damaged areas at the overhead slab in progress.

**PHOTOGRAPH #32**



**WALKWAYS – THIRD FLOOR**  
**Stucco Finish**

Textured stucco finish application to concrete damaged areas at the overhead slab in progress.

**PHOTOGRAPH #33**



**EAST ELEVATION  
EXTERIOR WALL  
Stone Removal**

After removal of the stone façade along the exterior wall, significant cracking observed in the concrete of the roof slab and support column.

**PHOTOGRAPH #34**



**EAST ELEVATION  
EXTERIOR WALL  
Stone Removal**

After removal of the stone façade along the exterior wall, significant cracking observed in the concrete of the roof slab and support column.



**PHOTOGRAPH #35**

North Stone Wall



**EAST ELEVATION  
EXTERIOR WALL  
Stone Removal**

After removal of the stone façade along the exterior wall, significant cracking observed in the concrete of the roof slab and support column.

**PHOTOGRAPH #36**

Jul 7, 2023 7:56:12 AM  
9980 Gulf Boulevard  
Treasure Island  
Pinellas County  
Florida  
North Stone Wall



**EAST ELEVATION  
EXTERIOR WALL  
Stone Removal**

After removal of the stone façade along the exterior wall, significant cracking observed in the concrete of the roof slab and support column.