

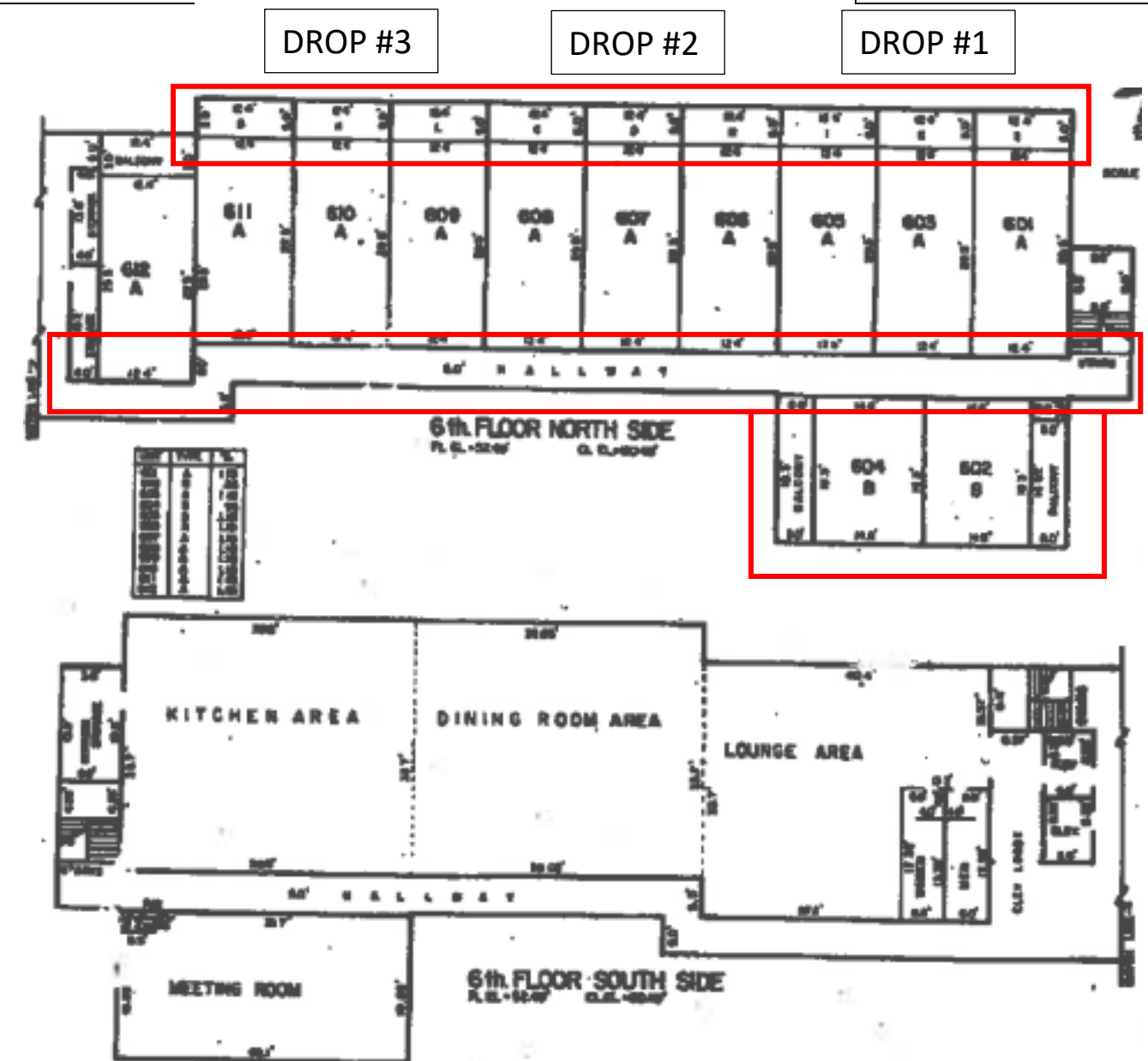
**FIELD OBSERVATION REPORT – WEEK OF: 11/27/2023**

Permit No.: BLDC-005621-2023  
Owner: Island Inn Condominium Association, Inc.  
Project Address: 9980 Gulf Blvd., Treasure Island, FL 33706  
Contractor: RL James, Inc.  
Inspector(s): Justin Chavis, EI and Dan Reed  
Type of Assessment: Progress

Project No.: R2107-012  
Contact: John Aucamp  
Phone: 201-595-9313  
Contact: Bob Branscombe  
Phone: 239-980-3149

COPY DISTRIBUTION  
☒ Owner  
☒ Contractor  
☒ Engineer  
☒ Building Department

Date: <u>11/28/2023</u>	Time: <u>10:00 AM</u>	Weather: <u>Partly Sunny</u>	Approx. Temp.: <u>81 °F</u>
Date: <u>12/1/2023</u>	Time: <u>9:30 AM</u>	Weather: <u>Partly Sunny</u>	Approx. Temp.: <u>80 °F</u>
Date: _____	Time: _____	Weather: _____	Approx. Temp.: _____ °F
Date: _____	Time: _____	Weather: _____	Approx. Temp.: _____ °F
Date: _____	Time: _____	Weather: _____	Approx. Temp.: _____ °F
Date: _____	Time: _____	Weather: _____	Approx. Temp.: _____ °F
Date: _____	Time: _____	Weather: _____	Approx. Temp.: _____ °F
Date: _____	Time: _____	Weather: _____	Approx. Temp.: _____ °F



ENGINEERS

PROJECT MANAGERS  
FL EB No.8301

INSPECTORS

**FIELD OBSERVATION REPORT – WEEK OF: 11/27/2023**

Based on the site observations conducted, I certify that to the best of my knowledge and belief, the Work has progressed as stated in general accordance with the structural requirements provided in the project specifications and the Special Inspection Plan. This communication is intended as a record of the conditions observed as of the date of the site visit solely.

Engineer: Bruce Miller, PE, SI Date: 12/6/2023

ENGINEERS

PROJECT MANAGERS  
FL EB No.8301

INSPECTORS

**FIELD OBSERVATION REPORT – WEEK OF: 11/27/2023**  
**R2107-012 Island Inn, Concrete Repairs:**

Legend	
/	In Progress
X	Complete

Walkways – North Side Floor Levels	Shutter Removal	Pre-Condition Survey	Pressure Clean	Stucco Repairs (sf)	Floor Finish Removal	Slab Repair (cf)	Overhead Rpr (cf)	Column Repair (cf)	Slab Edge (cf)	Crack Repair (lf)	Deck Sloping (sf)	Railing Install	Deck WP	Building Sealants	Window Perimeter Sealants	Paint (Primer)	Paint (Finish)	Punch-Out	Comments
1	X	X	X	X	-	-	X	X	-	-	-	-	-	X	-	X	X	/	*Walkway deck WP to be corrected on all levels for Engineer's and Owner's approval.
2	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	/	*Exterior paint coating to be corrected on all levels for Engineer's and Owner's approval.
3	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	/	Photo #9
4	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	/	
5	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	/	
6	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	/	Photo #3

Rear Balconies – North Side Floor Levels	Shutter Removal	Pre-Condition Survey	Pressure Clean	Stucco Repairs (sf)	Floor Finish Removal	Slab Repair (cf)	Overhead Rpr (cf)	Column Repair (cf)	Slab Edge (cf)	Crack Repair (lf)	Deck Sloping (sf)	Railing Install	Deck WP	Building Sealants	Window Perimeter Sealants	Paint (Primer)	Paint (Finish)	Punch-Out	Comments
1	-	X	X	X	-	-	X	-	-	-	-	-	-	X	-	X	X	X	
2	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	
3	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	
4	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	
5	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	
6	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	

**FIELD OBSERVATION REPORT – WEEK OF: 11/27/2023**  
**R2107-012 Island Inn, Concrete Repairs:**

Legend	
/	In Progress
X	Complete

Front Balconies – North Side Floor Levels	Shutter Removal	Pre-Condition Survey	Pressure Clean	Stucco Repairs (sf)	Floor Finish Removal	Slab Repair (cf)	Overhead Rpr (cf)	Column Repair (cf)	Slab Edge (cf)	Crack Repair (lf)	Deck Sloping (sf)	Railing Install	Deck WP	Building Sealants	Window Perimeter Sealants	Paint (Primer)	Paint (Finish)	Punch-Out	Comments
1	-	X	X	X	-	-	X	X	-	-	-	-	-	X	-	X	X	/	*Walkway deck WP to be corrected on all levels for Engineer's and Owner's approval.
2	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	/	*Exterior paint coating to be corrected on all levels for Engineer's and Owner's approval.
3	X	X	X	X	X	X	X	X	X	X	X	X	/	X	/	X	/	/	
4	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	/	
5	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	/	
6	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	/	

Elevator Lobby – Floor Levels	Shutter Removal	Pre-Condition Survey	Pressure Clean	Stucco Repairs (sf)	Floor Finish Removal	Slab Repair (cf)	Overhead Rpr (cf)	Column Repair (cf)	Slab Edge (cf)	Crack Repair (lf)	Deck Sloping (sf)	Railing Install	Deck WP	Building Sealants	Window Perimeter Sealants	Paint (Primer)	Paint (Finish)	Punch-Out	Comments
1	-	X	X	X	-	-	-	-	-	-	-	-	-	X	-	X	X	/	*Lobby deck WP to be corrected on all levels for Engineer's and Owner's approval.
2	X	X	X	X	X	X	X	X	X	X	X	X	X	X	-	X	X	/	*Exterior paint coating to be corrected on all levels for Engineer's and Owner's approval. Photo #10
3	X	X	X	X	X	X	X	X	X	X	X	X	X	X	-	X	X	/	
4	X	X	X	X	X	X	X	X	X	X	X	X	X	X	-	X	X	/	
5	X	X	X	X	X	X	X	X	X	X	X	X	X	X	-	X	X	/	
6	X	X	X	X	X	X	X	X	X	X	X	X	X	X	-	X	X	/	

**FIELD OBSERVATION REPORT – WEEK OF: 11/27/2023**  
**R2107-012 Island Inn, Concrete Repairs:**

Legend	
/	In Progress
X	Complete

Walkways – South Side Floor Levels	Shutter Removal	Pre-Condition Survey	Pressure Clean	Stucco Repairs (sf)	Floor Finish Removal	Slab Repair (cf)	Overhead Rpr (cf)	Column Repair (cf)	Slab Edge (cf)	Crack Repair (lf)	Deck Sloping (sf)	Railing Install	Deck WP	Building Sealants	Window Perimeter Sealants	Paint (Primer)	Paint (Finish)	Punch-Out	Comments
1	-	X	X	X	-	-	/	/	-	-	-	-	-		-				Photo #1
2	-	X	X	X	X	/	/	/	/	/									Photos #11, #12, #13, #14, #15, #16, #17, #18, #19
3	-	X	X	X	X	X	X	X	X	X									Photos #6, #7, #8
4	-	X	X	X	X	X	X	X	X	X									
5	-	X	X	X	X	X	X	X	X	X									Photos #4, #5
6	-	X	X	X	X	X	X	X	X	X									Photo #2

Rear Balconies – South Side Floor Levels	Shutter Removal	Pre-Condition Survey	Pressure Clean	Stucco Repairs (sf)	Floor Finish Removal	Slab Repair (cf)	Overhead Rpr (cf)	Column Repair (cf)	Slab Edge (cf)	Crack Repair (lf)	Deck Sloping (sf)	Railing Install	Deck WP	Building Sealants	Window Perimeter Sealants	Paint (Primer)	Paint (Finish)	Punch-Out	Comments
1	-	X	X	/	-	-	/	/	-	-	-	-	-		-				Photo #20
2	-	X	X	/	X	/	/	/	/	/		/							
3	-	X	X	/	X	X	X	X	X	X		/							Photo #24
4	-	X	X	/	X	X	X	X	X	X		/							
5	-	X	X	/	X	X	X	X	X	X		/							Photos #21, #22, #23
6	-	X	X	/	X	X	X	X	X	X		/							

ENGINEERS

PROJECT MANAGERS  
FL EB No.8301

INSPECTORS

**FIELD OBSERVATION REPORT – WEEK OF: 11/27/2023**  
**R2107-012 Island Inn, Concrete Repairs:**

Legend	
/	In Progress
X	Complete

Front Balconies – South Side Floor Levels	Shutter Removal	Pre-Condition Survey	Pressure Clean	Stucco Repairs (sf)	Floor Finish Removal	Slab Repair (cf)	Overhead Rpr (cf)	Column Repair (cf)	Slab Edge (cf)	Crack Repair (lf)	Deck Sloping (sf)	Railing Install	Deck WP	Building Sealants	Window Perimeter Sealants	Paint (Primer)	Paint (Finish)	Punch-Out	Comments
1	-	X	X	/	-	-	/	/	-	-	-	-	-		-				
2	-	X	X	/	X	/	/	/	/	/		/							
3	-	X	X	X	X	X	X	X	X	X		/							
4	-	X	X	X	X	X	X	X	X	X		/							
5	-	X	X	X	X	X	X	X	X	X		/							
6	-	X	X	X	X	X	X	X	X	X		/							

**ACTION REQUIRED BY CONTRACTOR:**

1. Where excessive cmu blocks exist, fill voids with foam and patch repair/form and pour exterior surface of cmu wall with repair mortar (**See previous report**).
2. Sister an additional #5 rebar to existing rebar, with significant section loss, as per project manual (**See previous report**).
3. Perform concrete repairs to concrete damaged areas per the project manual and manufacturer's installation instructions (**Photos #15, #16, #17, #18, #19, see previous report**).
4. Repair columns per attached Engineer's repair directive (**See previous report**).
5. Provide signed and sealed shoring drawings for the south end of the building.
6. Provide temporary rail barriers/caution tape at rear balconies where railings have been removed (**See previous report**).
7. Install shoring posts to concrete damaged areas per Engineer's shoring drawings (**See previous reports**).
8. Repair deck waterproofing along the walkways, front balconies, and elevator lobbies where coating imperfections exist (**See previous reports**).
9. Reset top rail of railings to be in proper alignment with the rail post or replace section of railing entirely (**See previous reports**).
10. Submit railing coating verification documentation.
11. Apply another layer of coating along the walkway and stairwell walls where signs of missing paint and streaks are observed (**See previous reports**).
12. Repair damaged railings along the north end stairwell (**See previous reports**).
13. Repair damaged deck coating along the north end stairwell (**See previous reports**).
14. Remove delaminated paint coatings along the walkways and re-paint exterior walls as per manufacturer's installation instructions (**See previous reports**).

**ACTION REQUIRED BY ENGINEER:**

1. Provide design repair directive, ESI, for damaged reinforcing steel at the support beams and columns along the 2<sup>nd</sup> floor walkway and front balcony (**Photos #9 - #14**).

ENGINEERS

PROJECT MANAGERS  
FL EB No.8301

INSPECTORS

**FIELD OBSERVATION REPORT – WEEK OF: 11/27/2023**  
**R2107-012 Island Inn, Concrete Repairs:**

**ACTION REQUIRED BY OWNER:**

1. None.

**GENERAL COMMENTS:**

1. None.

Legend

/ In Progress

X Complete

ENGINEERS

PROJECT MANAGERS  
FL EB No.8301

INSPECTORS



## PHOTOGRAPHS

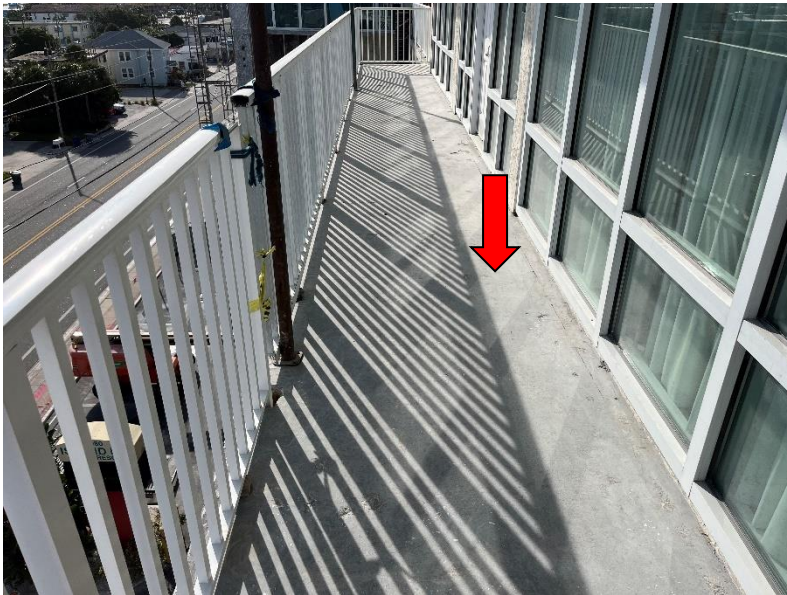
**PHOTOGRAPH #1**



### **ISLAND INN Overview of Work**

Overview of the progress of work. Damaged concrete currently being repaired at walkway and balcony decks on all floor levels.

**PHOTOGRAPH #2**



### **SOUTH END WALKWAYS SIXTH FLOOR Deck Waterproofing**

Top surface of concrete slabs currently being scarified and smoothed out at walkway decks.



**PHOTOGRAPH #3**



**NORTH END WALKWAYS  
SIXTH FLOOR  
Deck Waterproofing**

Clear coat and top-coat finish stripped from recently applied deck waterproofing in preparation for Gemstone finish application.

**PHOTOGRAPH #4**



**SOUTH END WALKWAYS  
FIFTH FLOOR  
Deck Waterproofing**

Top surface of concrete slabs currently being scarified and smoothed out at walkway decks.

**PHOTOGRAPH #5**



**SOUTH END WALKWAYS  
FIFTH FLOOR  
Concrete Damage**

MasterEmaco 1061 applied at concrete damaged areas along the walkways.

**PHOTOGRAPH #6**



**SOUTH END WALKWAYS  
THIRD FLOOR  
Concrete Damage**

MasterEmaco 1061 applied at concrete damaged areas along the walkways.



**PHOTOGRAPH #7**



**SOUTH END WALKWAYS  
THIRD FLOOR  
Concrete Damage**

MasterEmaco 1061 applied at concrete damaged areas along the walkways.

**PHOTOGRAPH #8**



**SOUTH END WALKWAYS  
THIRD FLOOR  
Concrete Damage**

MasterEmaco 1061 applied at concrete damaged areas along the walkways.

**PHOTOGRAPH #9**



**NORTH END WALKWAYS  
THIRD FLOOR  
Deck Waterproofing**

Clear coat and top-coat finish stripped from recently applied deck waterproofing in preparation for Gemstone finish application.

**PHOTOGRAPH #10**



**ELEVATOR LOBBY AREA  
SECOND FLOOR  
Deck Waterproofing**

Clear coat and top-coat finish stripped from recently applied deck waterproofing in preparation for Gemstone finish application.



**PHOTOGRAPH #11**



**SOUTH END WALKWAYS  
SECOND FLOOR  
Concrete Damage**

MasterEmaco 1061 applied at concrete damaged areas along the walkways.

**PHOTOGRAPH #12**



**SOUTH END WALKWAYS  
SECOND FLOOR  
Concrete Damage**

MasterEmaco 1061 applied at concrete damaged areas along the walkways.

**PHOTOGRAPH #13**



**SOUTH END WALKWAYS  
SECOND FLOOR  
Concrete Damage**

MasterEmaco 1061 applied at concrete damaged areas along the walkways.

**PHOTOGRAPH #14**

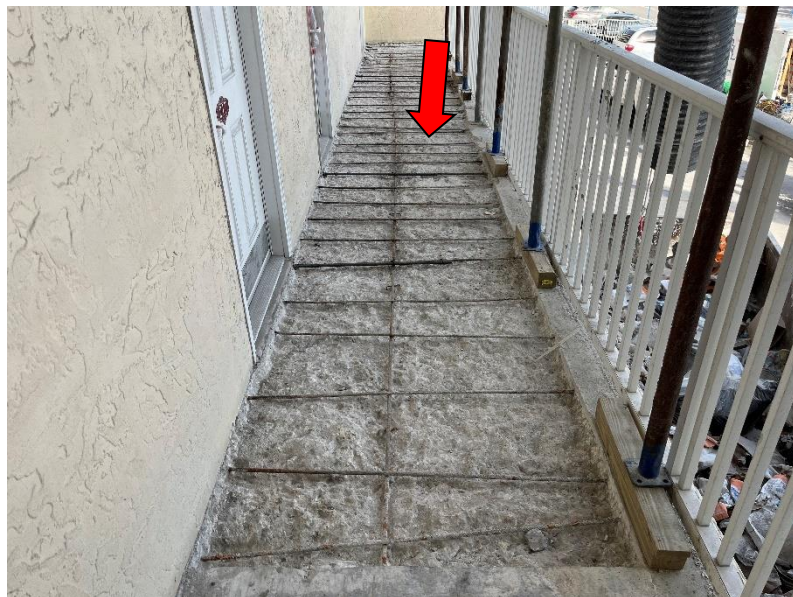


**SOUTH END WALKWAYS  
SECOND FLOOR  
Concrete Damage**

MasterEmaco 1061 applied at concrete damaged areas along the walkways.



**PHOTOGRAPH #15**



**SOUTH END WALKWAYS  
SECOND FLOOR  
Concrete Damage**

Debonded concrete chipped and removed, exposing rusted reinforcing steel.

**PHOTOGRAPH #16**



**SOUTH END WALKWAYS  
SECOND FLOOR  
Concrete Damage**

#5 rebar epoxy doweled into concrete slab and sistered to damaged existing rebar as per drawings.



**PHOTOGRAPH #17**



**SOUTH END WALKWAYS  
SECOND FLOOR  
Concrete Damage**

#5 rebar epoxy doweled into concrete slab and sistered to damaged existing rebar as per drawings.

**PHOTOGRAPH #18**



**SOUTH END WALKWAYS  
SECOND FLOOR  
Concrete Damage**

#5 rebar epoxy doweled into concrete slab and sistered to damaged existing rebar as per drawings.



**PHOTOGRAPH #19**



**SOUTH END WALKWAYS  
SECOND FLOOR  
Concrete Damage**

#5 rebar epoxy doweled into concrete slab and sistered to damaged existing rebar as per drawings.

**PHOTOGRAPH #20**



**SOUTH END REAR BALCONIES  
Concrete Damage**

Post pocket cores currently being drilled and balcony concrete decks currently being scarified and smoothed out in preparation for deck waterproofing application.

**PHOTOGRAPH #21**



**SOUTH END REAR BALCONIES  
UNIT #523  
Post Pocket Cores**

Core drill used to core post pockets along rear balcony concrete slabs.

**PHOTOGRAPH #22**

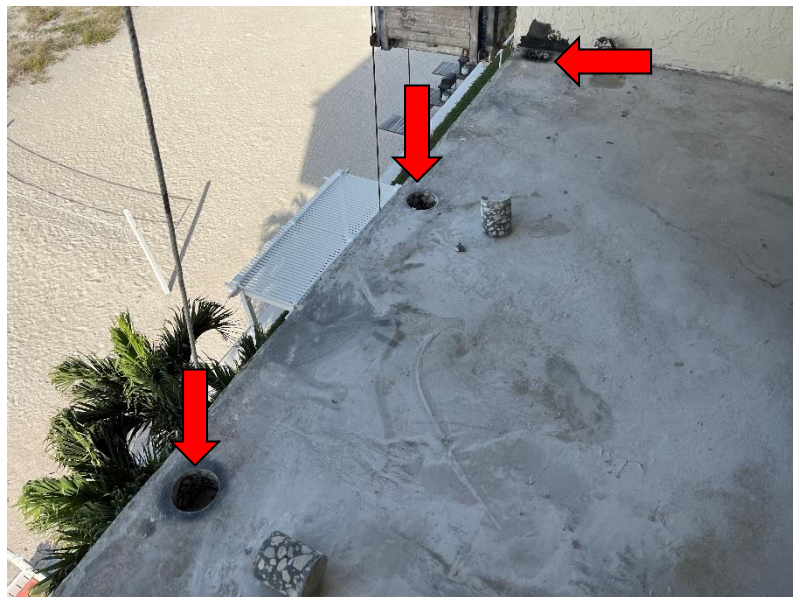


**SOUTH END REAR BALCONIES  
UNIT #523  
Post Pocket Cores**

Core drill used to core post pockets along rear balcony concrete slabs.



**PHOTOGRAPH #23**



**SOUTH END REAR BALCONIES  
UNIT #521  
Post Pocket Cores**

Core drill used to core post pockets along rear balcony concrete slabs.

**PHOTOGRAPH #24**



**SOUTH END REAR BALCONIES  
THIRD FLOOR  
Slab Edge**

Existing stucco finish currently being stripped from the balcony slab edges.